



**OPEN MEETING**

**REGULAR MEETING OF THE THIRD LAGUNA HILLS MUTUAL  
ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE**

**Monday, April 23, 2018 – 9:30 a.m.  
Laguna Woods Village Community Center Sycamore Room  
24351 El Toro Road**

**NOTICE AND AGENDA**

1. Call to Order
2. Acknowledgement of Media
3. Approval of the March 26, 2018 Report
4. Approval of the Agenda
5. Chair Remarks
6. Member Comments - *(Items Not on the Agenda)*
7. Department Head Update

**Consent:**

*All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*

**Reports:**

None.

**Items for Discussion and Consideration:**

8. 3505-C (Casa Rosa, RP303C) - Patio Door Modification in Living Room
9. 5478-A (Villa Fuente, RP42C) - Room and Patio Addition onto Common Area
10. Discuss Changing Solar Standards to Variance Requests
11. Review Next Steps for Architectural Standard 16 – Garage Doors
12. Review Next Steps for Architectural Standard 12 – Exterior Wall Attachments
13. Review Architectural Standard 26 – Skylight Installations
14. Review Architectural Standard 27 – Tubular Skylight Installations

Items for Future Agendas

Concluding Business:

15. Committee Member Comments
16. Discuss date of next meeting since it is scheduled for Memorial Day, May 28
17. Adjourn

Bill Walsh, Chair  
Kurt Wiemann, Staff Officer  
Eve Morton, Alterations Coordinator: 949-268-2565



**OPEN MEETING**

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ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE**

**Monday, March 26, 2018 – 9:30 a.m.  
Laguna Woods Village Community Center Sycamore Room  
24351 El Toro Road**

**REPORT**

**MEMBERS PRESENT:** Chair – Bill Walsh, Steve Parsons, John Frankel, Roy Bruninghaus, Bert Moldow, and Rosemarie diLorenzo

**MEMBERS ABSENT:** Advisor Mike Butler

**ADVISORS PRESENT:** Bob Hatch

**STAFF PRESENT:** Kurt Wiemann, Gavin Fogg, and Eve Morton

**1. Call to Order**

Chair Walsh called the meeting to order at 9:30 a.m.

**2. Acknowledgement of Media**

No media were present.

**3. Approval of February 26, 2018 Report**

Director Parsons noted that an item was missing from the Future Agenda: List of suggested items for resident contracts. President diLorenzo moved to approve the revised Report. Advisor Hatch seconded. The Committee approved the motion unanimously.

**4. Approval of the Agenda**

President diLorenzo made a motion to approve the agenda. Advisor Hatch seconded. The agenda was approved unanimously.

**5. Committee Chair Remarks**

Chair Walsh thanked Director Parsons for acting as Chair at last month's meeting. He stated that the committee will continue to review and update the Architectural Standards.

**6. Member Comments - (Items Not on the Agenda)**

Several Members commented on various topics.

## **7. Department Head Update**

Mr. Wiemann reported that a Task Force is working on updating the Dumpster Policy.

Staff was asked to review the current Washer and Dryer Standard and then submit it to the Maintenance and Construction Committee for review.

### Consent:

*All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*

None

### Reports:

None

### Items for Discussion and Consideration:

#### **8. 5098 (Villa Paraisa, C13C\_1) - Room Addition on Private Garden and Roof over Entry and Removal of Soffits and Ceilings**

Director Parsons made a motion to approve Staff's recommendation. Director Bruninghaus seconded. The motion was approved unanimously.

#### **9. Discuss Common Area Request by 3456-B**

Mr. Cooper and Ms. Smallwood were in attendance and presented their proposed variance requests to the committee in advance of a formal request.

The committee agreed to have Counsel review the condominium plan for the subject manor regarding an area that may involve a recording oversight on common area designation.

Staff was directed to write a Memo to Counsel regarding the condominium plan. Staff was asked to update these residents with Counsel's decision on their request.

#### **10. Discuss Solar Application Process**

Discussion ensued regarding the process of what happens when a resident asks about installing solar.

Staff was directed to work with Director Moldow on a flyer to hand out to people to who are considering installing solar.

Director Parsons inquired as to whether staff keeps a copy of the required residents' insurance policies for solar installations. Mr. Wiemann said he will check and add it to the resale checklist if it is not being done.



The committee asked Mr. Wiemann to reiterate to Village realtors alteration procedures at the next Realtor Roundtable.

Staff was directed to place the Solar Panel Standards on the committee's May agenda to ensure Director Parson will be in attendance at the meeting.

**11. Review Next Steps for Standards 5a, 5b, and 5c – Satellite Dishes**

President diLorenzo made a motion to discuss this item and Director Bruninghaus seconded. Discussion ensued.

Staff was asked to add "removal of satellite dish" to the resale checklist.

The Standard item regarding grounding of a satellite dish in accordance with National Electric Code item for 5a, 5b, 5c should say it "must" be grounded...not just "recommended."

Discussion ensued regarding allocations on the roof for one and two story buildings and that staff would need to measure roof space on three story building and then divide that between the number of units in that building.

President diLorenzo made a motion to accept Staff recommendation for 5a and 5b and to request staff work on 5c regarding three story building roof allocations and to revisit that item again in September. Director Parsons seconded and the committee was in unanimous support.

**12. Review Next Steps for Architectural Standard 14 – Fireplaces**

Director Walsh made a motion to discuss this item and Director Parsons seconded. Discussion ensued.

The Committee stated that the Mutual is replacing the spark arrestors in the Paint Program and members should not be required to replace them.

Several updates to the Standard were discussed.

A motion was made by President diLorenzo to accept staff's recommendation, with the updates, and to bring this Standard to Board. Director Parsons seconded and the committee was in unanimous support.

**13. Review Next Steps for Architectural Standard 16 – Garage Doors**

Director Parsons made a motion to discuss this item and President diLorenzo seconded. Discussion ensued.

President diLorenzo made a motion to include Counsel's opinion in the Standard. Director Bruninghaus seconded and the committee was in unanimous support.

**14. Review Next Steps for Architectural Standard 18 – Gutters & Downspouts**

Director Parsons made a motion to discuss this item and Director Bruninghaus seconded. Discussion ensued.

Staff was asked review the list being distributed regarding permitted items and make sure that gutters are on that list.

A motion was made by Director Parsons to accept staff's recommendation, with the updates, and bring this Standard to Board. Director Bruninghaus seconded and the committee was in unanimous support.

**15. Review Architectural Standard 26 – Skylight Installations**

This item was moved to the April meeting.

**16. Review Architectural Standard 27 – Tubular Skylight Installations**

This item was moved to the April meeting.

Items for Future Agendas

List of items residents should make sure are included in any contracts with contractors.

Concluding Business:

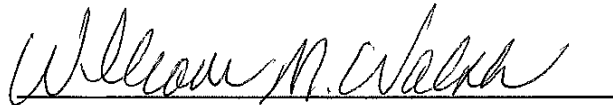
**17. Committee Member Comments**

President diLorenzo asked Chair Walsh to contact the residents at 3456-B regarding their proposed variance requests.

**18. Date of Next Regular Meeting and Bus Tour – April 23, 2018**

**19. Adjourn**

The committee adjourned at 2:20 p.m. There was no bus tour.

A handwritten signature in cursive script, reading "William M. Walsh", written in dark ink over a horizontal line.

Chair, Bill Walsh

Kurt Wiemann, Staff Officer

Eve Morton, Alterations Coordinator, 268-2565



## STAFF REPORT

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**DATE:** April 23, 2018  
**FOR:** Architectural Control and Standards Committee  
**SUBJECT:** Variance Request  
Ms. Lynne Corboz of 3505-C (Casa Rosa, RP303C)  
Patio Door Modification

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### **RECOMMENDATION**

Staff recommends the Board approve the request to modify the previously approved patio door in the living room with the conditions as stated in Appendix A.

### **BACKGROUND**

Ms. Corboz of 3505-C Bahia Blanca West, a Casa Rosa style unit, is requesting Board approval of a variance to modify the existing approved double patio door installation and replace with one large, four panel patio door (Attachment 1).

The cost of the proposed alteration would be borne by the Member.

Due to the larger door requiring replacing the existing headers with a larger structural support beam, Staff requires Board approval prior to issuing Mutual Consent.

### **DISCUSSION**

Ms. Corboz is proposing to remove the existing 5' wide by 6' tall fixed window and the 6' wide by 6'8" tall sliding glass door in the living room that leads onto the rear patio and replace with a 12' wide by 6'8" tall, four-panel sliding glass door.

The original alteration submitted was to replace the existing window and door with two 6' wide by 6'8" tall sliding glass doors using the existing openings which only required replacing the structural header above the existing sliding glass door.

The four-panel sliding glass doors would necessitate a 12' wide opening, which would require replacing the existing headers with a structural support beam (Attachment 1). Structural drawings would be required and the City would perform structural review.

Ms. Corboz has provided plans that show the headers would be replaced with a 13' beam (material to be determined) to provide sufficient support for the larger opening. The remainder of the wall would be filled in with wood framing and stucco exterior to match the existing building.

The doors will be of white vinyl in accordance to Mutual Standard Section 34: Windows & Window Attachments for consistency.

Staff was unable to find any previous examples of a similar alteration on file.

Due to the location of the unit and the consistency of materials with Mutual Standards, Staff believes the alteration would not have a negative aesthetic effect on the area.

At the time of preparing this report, there are 16 open items on one Mutual Consent for Manor 3505-C as part of a unit remodel.

Open Mutual Consents 3505-C		
Description	Received Dt	Mutual Permit
Room Addition	1/30/2018	180074
Wall Revision Throughout	1/30/2018	180074
Electrical Throughout	1/30/2018	180074
Tub to Tub	1/30/2018	180074
Shower to Shower	1/30/2018	180074
Solatube in Bathroom	1/30/2018	180074
Solatube in Bathroom	1/30/2018	180074
Solatube in Service	1/30/2018	180074
Demo Soffits	1/30/2018	180074
Retrofit all Sliding Glass Doors	1/30/2018	180074
New Construction Window in Entry	1/30/2018	180074
New Construction Window in Bathroom	1/30/2018	180074
Room Addition in Garage	1/30/2018	180074
Window to Sliding Glass Door in Living Room	1/30/2018	180074
Door Revision, Entry	1/30/2018	180074
Electrical Panel	1/30/2018	180074

A Neighbor Awareness Notice was sent to Units 3504-A and 3505-B on April 5, 2018 due to line of sight and/or effects of construction noise/debris within 150' of the alteration.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 3505-C

**Prepared By:** Gavin Fogg, Alterations Inspector II

**Reviewed By:** Kurt Wiemann, Permits, Inspections & Restoration Manager

Eve Morton, Alterations Coordinator

#### **ATTACHMENT(S)**

- Appendix A: Conditions of Approval
- Attachment 1: Site Plan
- Attachment 2: Variance Request
- Attachment 3: Photos
- Attachment 4: Map

## APPENDIX A

### CONDITIONS OF APPROVAL

Conditions of approval would be as follows:

1. No improvement shall be installed, constructed, modified or altered at Manor **3505-C**, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Manor Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Manor Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
2. A Variance for Manor Alterations has been granted at **3505-C** for installing a **patio door modification**, subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.
3. Prior to the issuance of a Mutual Consent for Manor Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at 3505-C and all future Mutual members at 3505-C.
5. Prior to the Issuance of a Mutual Consent for Alterations, acoustical impacts shall be considered and will require noise reducing material such as sound dampening drywall on common walls of the alteration (such as QuietRock® drywall panels or similar approved products).
6. All piping in bathrooms with adjacent units shall be insulated for sound reduction, including penetrations thorough framing.
7. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Manor Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
8. Prior to the issuance of a Mutual Consent for Manor Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and

materials are identified as "Third Laguna Hill Mutual Color Selections" at Resident Services, located at the Community Center first floor.

9. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that all such persons are his/her invitees. Member Owner shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
10. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.
11. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.
12. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invites.
13. Member Owner's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
14. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
15. Prior to the Issuance of a Mutual Consent for Unit Alterations, the Member shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500. The Conformance Deposit will be held until Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.
16. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Member Owner or the Property, to cover and/or recoup any costs whatsoever, including, but not be limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Member Owner; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Member Owner's contractor or other invitee; costs incurred by the Mutual in curing a violation on

the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.

17. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Member Owner agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.
18. Any remaining Conformance Deposit is refundable if the Member Owner notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Member Owner's address of record with the Mutual. Under no circumstances shall Member Owner be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Member Owner within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.
19. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards. See <http://www.lagunawoodsvillage.com>.
20. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
21. During construction, both the Mutual Consent for Manor Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
22. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
23. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. Any dumpster must be covered and locked at the end of each day. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
24. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
25. The Mutual Consent for Manor Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
26. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Owner Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.

27. Mutual member shall indemnify, defend and hold harmless Third and its officers, directors, committee members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual member's improvements and installation, construction, design and maintenance of same.



ELECTRICAL/FLOOR PLAN NOTES:

1. ALL NEW ELECTRICAL RECEPTACLE OUTLETS AND NEW LIGHTING FIXTURES TO BE ON SEPARATE BRANCH CIRCUITS AND INSTALLED PER CODE.
2. ALL ELECTRICAL OUTLETS IN BATHROOMS, GARAGES, BASEMENTS, CRAWL SPACES, OUTDOOR AREAS, LAUNDRY AREAS, KITCHEN COUNTERTOPS, ISLANDS, AND BARS ARE TO BE GROUND CIRCUIT INTERRUPTER (GFI) PER CODE.
3. ALL REQUIRED RECEPTACLE OUTLETS SHALL BE LISTED "TRANSFER-RESISTANT" RECEPTACLE PER CODE.
4. ALL 120 VOLT SINGLE PHASE 15, AND 20 AMP BRANCH CIRCUITS SUPPLYING RECEPTACLE OUTLETS IN ALL ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PER CODE.
5. ALL KITCHEN, BATHROOM AND LAUNDRY ROOM RECEPTACLE OUTLETS SHALL BE SERVED BY A DEDICATED 20 AMP CIRCUIT PER CODE.
6. ALL REQUIRED LUMINAIRES SHALL BE HIGH EFFICIENCY PER CODE.
7. ALL LIGHTING IN ALL BEDROOMS, WALLS, LIVING ROOMS, DINING, AND OTHER LARGER ROOMS TO BE HIGH EFFICIENCY OR SHALL BE CONTROLLED BY A DIMMER OR OCCUPANT SENSOR PER CODE.
8. ALL BATHROOMS, LAUNDRY/SERVICE ROOMS, AND GARAGES WILL HAVE AT LEAST ONE LUMINAIRE WHICH SHALL BE CONTROLLED BY A VACANCY SENSOR PER CODE.
9. ALL FIXED APPLIANCES SUCH AS DISPOSALS, DISHWASHERS, WASHERS, DRYERS, BUILT IN HEATERS AND ANY OTHER FIXED APPLIANCE WITH 1/2 HP MOTOR OR LARGER SHALL BE ON A SEPARATE 5 1/2 AMP WIRE BRANCH CIRCUIT INSTALLED PER CODE.
10. ALL RECESSED CAN LIGHTS IN INSULATED CEILINGS SHALL BE CERTIFIED AIRTIGHT AND INSTALLED PER CODE.
11. ALL ELECTRONIC BALLASTS SHALL BE RATED 15 WATTS OR GREATER AND SHALL HAVE AN OUTPUT FREQUENCY NOT LESS THAN 20 KHZ PER CODE.
12. ALL SURFACE MOUNTED LIGHTING FIXTURES IN WALK-IN CLOSETS MUST BE 15" FROM STORAGE AREAS PER CODE.
13. ALL SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS ARE TO BE ON SEPARATE BRANCH CIRCUITS AND INSTALLED PER CODE.
14. SEE THE CALIFORNIA ELECTRICAL CODE (CEC) FOR ADDITIONAL REQUIREMENTS AND ADDITIONAL NOTES NOT COVERED IN THESE NOTES.
15. SEE TITLE 24 MANDATORY MEASURES SUMMARY FOR ADDITIONAL NOTES FOR RESIDENTIAL LIGHTING REQUIREMENTS NOT COVERED IN THESE NOTES.
16. SEE SHEET 6-1 SECTION 16 A FOR MORE ELECTRICAL NOTES NOT COVERED IN THESE NOTES.
17. THE CONTRACTOR SHALL PROVIDE A SINGLE LINE DIAGRAM, PANEL SCHEDULE AND LOAD CALCULATIONS FOR ALL THE NEW ELECTRICAL SYSTEMS BEING INSTALLED AT THE JOB SITE FOR THE ELECTRICAL INSPECTOR'S REVIEW.
18. ALL TEMPERED GLASS TO BE ETCH MARKED AND NOTED ON THE PLAN AND INSTALLED PER CODE.
19. ALL DEFERRED SUBMITTALS TO BE REVIEWED AND APPROVED BY THE DESIGNER AND/OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW.

SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS:

PROVIDE SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS IN EACH HALLWAY LEADING TO SLEEPING ROOMS, ON TOP OF STAIRWAY, AND IN EACH STORY. PROVIDE SMOKE DETECTORS IN EACH SLEEPING ROOM OF NEW AND EXISTING CONSTRUCTION. DETECTORS ARE TO BE HARD WIRED WITH BATTERY BACK UPS. DETECTORS SHALL BE INTERCONNECTED WITH EXISTING TO SOUND AT THE SAME TIME.

SMOKE DETECTORS ARE TO BE INSTALLED PER CODE AND SHALL BE LISTED IN ACCORDANCE WITH PER UL 217 REQUIREMENTS AND SHALL BE CALIFORNIA STATE FIRE MARSHAL LISTED.

CARBON MONOXIDE DETECTORS ARE TO BE INSTALLED PER CODE AND SHALL BE LISTED IN ACCORDANCE WITH PER UL 2094 AND UL 2075 REQUIREMENTS.

ALL SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL CONTAIN A MINIMUM TEN (10) YEAR LIFE BATTERY.

EMERGENCY WINDOW EGRESS NOTES

HABITABLE ROOMS SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW. SEE MINIMUM REQUIREMENTS.

- A. NET CLEAR OPENING OF 5.7 SQ FT
- B. 5 SQUARE FEET FOR GRADE FLOOR OPENINGS
- C. NET CLEAR OPENING WIDTH OF 20 INCHES
- D. NET CLEAR HEIGHT OF 24 INCHES
- E. SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR

EXISTING CONDITION:

THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND ALIGN ALL NEW WALLS WITH EXISTING EXTERIOR AND INTERIOR WALLS. ALL NEW WALLS ARE PLUS AND MINUS AND SHOULD BE VERIFIED WITH EXISTING CONDITIONS AND WALLS. ANY DISCREPANCIES OR OMISSIONS IN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF DESIGNER OR STRUCTURAL ENGINEER WITHIN A REASONABLE TIME OF DISCOVERY.

MATCH ALL MATERIALS WITH EXISTING. SIZE, SHAPE, TEXTURE AND COLOR.

BATH NOTES:

ALL NON-COMPLIANCE PLUMBING FIXTURES MUST BE REPLACED WITH WATER CONSERVING FIXTURES PER SB 407 AND PER CODE.

- FLOW RATES
- |                  |          |
|------------------|----------|
| WATER CLOSETS:   | 125 GPM  |
| SHOWERHEADS:     | 2.00 GPM |
| KITCHEN FAUCETS: | 1.50 GPM |
| BATH FAUCETS:    | 1.20 GPM |
- WATER CLOSETS MUST PROVIDE A MINIMUM 50" CLEAR MOTION 24" CLEARANCE IN FRONT OF THE WATER CLOSET PER CODE.

CONTROL VALVES SHALL BE PRESSURE BALANCING/THERMOSTATIC PER CODE

(N) SHOWER IN TEMP. GLASS TILE WALLS TO 6'-0" SHOWER WALLS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO 6'-0".

CEMENT, FIBER-CEMENT OR GLASS MAT SYSTEM BACKER BOARD TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS. ALL WALL AND CEILING PANELS IN SHOWER AREAS.

EXHAUST FAN NOTES

BATH EXHAUST FANS MUST BE ENERGY STAR AND MEET ALL REQUIREMENTS FOR EXHAUST FANS WHICH SHALL BE READILY ACCESSIBLE HANDHEAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50% TO 80 % PER CODE.

BATH EXHAUST SYSTEM VENTED TO OUTDOOR SHALL HAVE A MINIMUM EXHAUST RATE OF 50 CFM AND MEET ASHRA STANDARDS AND MAX SOUND RATING PER CODE.

KITCHEN EXHAUST SYSTEM VENTED TO OUTDOORS SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM (LOWERS) FOR DRYER MAKE UP AIR.

WHOLE HOUSE VENTILATION NOTES:  
PER ASHRA STANDARD REQUIREMENTS A WHOLE HOUSE FAN SHALL BE PROVIDED.  
WHOLE HOUSE VENTILATION MAY BE ACHIEVED THROUGH A QUIET CEILING MOUNTED SINGLE FAN SYSTEM. AIR IS DRAWN FROM THE HOME BY THE EXHAUST FAN AND DISPOSES AIR ENTERS THE HOME THROUGH INFILTRATION.

NOTE: TERMINATION OF AIR DUCTS.  
ALL AIR DUCT EXHAUSTS SHALL BE TERMINATE A MINIMUM THREE FEET FROM PROPERTY LINES AND FROM ANY OPENING INTO BUILDING.

WALL LEGEND

- EXISTING WALLS  
WALLS TO BE REMOVED  
NEW WALLS

AREA CALCS

	EXISTING	NEW	NEW TOTAL
FLOOR	1350 SQ FT	215 SQ FT	1625 SQ FT
GARAGE	842 SQ FT	-49 SQ FT	244 SQ FT

NOTE: MECHANICAL, ELECTRICAL AND PLUMBING PLAN ARE NOT BE SUBMITTAL FOR REVIEW AT PLAN CHECK AND ARE SUBJECT TO FIELD INSPECTION





## Laguna Woods Village

# APPROVED

Plans were reviewed for conformance with current United Laguna (Woods Mutual / Third Laguna Hills Mutual Standards and Regulations.

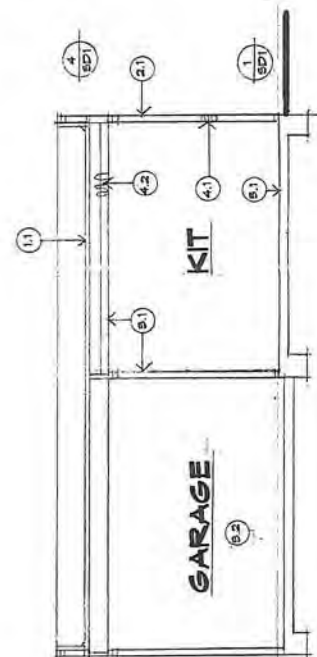
All work shall meet Uniform Building Code and may be subject to approval by the City of Laguna Woods.

1/30/18

Existing



# Existing



### FRONT ELEVATION

## SECTION A

ELEVATION/SECTION NOTES

ROOFING:  
1.1 EXISTING

ROOFING:  
1.1 EXISTING

**EXTERIOR MATERIAL:**

**EXTERIOR MATERIAL:**

2.1 THREE COAT STUCCO FINISH.  
PER MANUFACTURER'S SPECIFICATIONS AND  
CBC CHAPTER 14. MATCH EXISTING TEXTURE.  
PROVIDE 2 LAYERS OF BUILDING PAPER,  
PROVIDE A CONTINUOUS 5:1 STUCCO SCREED  
PER MANUFACTURE SPECIFICATION AND PER CBC

INTERIOR MATERIAL:  
8.1 TYPICAL WALLS AND CEILINGS, 5/8" THICK GYPSUM BOARD THROUGHOUT UNLESS NOTED OTHERWISE

INTERIOR MATERIAL:  
3.1 TYPICAL WALLS AND CEILINGS, 5/8" THICK GYPSUM  
BOARD THROUGHOUT UNLESS NOTED OTHERWISE

9.2 ONE HOUR FIRE RESISTIVE CONSTRUCTION:  
5/8" THICK TYPE "X" GYPSUM BOARD AT ALL  
SIDES OF WALLS, CEILINGS, POSTS AND BEAMS  
OF GARAGE ADJACENT TO OR SUPPORTING  
RESIDENTIAL USES. ALL ELEMENTS INSIDE THE  
GARAGE SUPPORTING STORIES ABOVE SHALL  
HAVE A ONE HOUR FIRE RESISTIVE CONSTRUCTION

**INSULATION:**  
4.1 EXTERIOR WALLS R-15

#### INSULATION:

##### 4.1 EXTERIOR WALLS R-15

#### 4.2 CEILING R-98

SLAB:

SLAB:

### 5.1 CONCRETE FOOTINGS/SLAB.

SEE FOUNDATION PLAN FOR NEW STRUCTURAL

**STRUCTURAL FRAMING:**

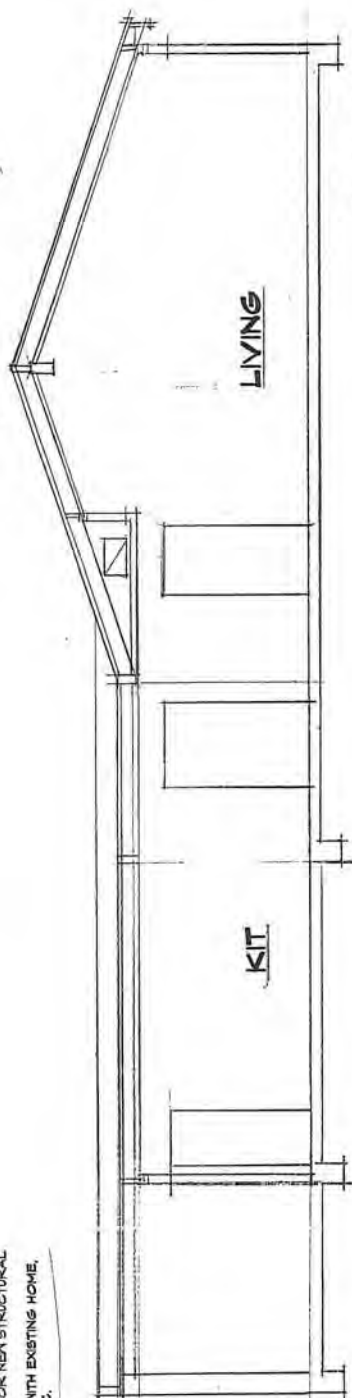
**STRUCTURAL FRAMING:**

6.1 SEE ROOF FRAMING PLAN FOR NEW STRUCTURAL

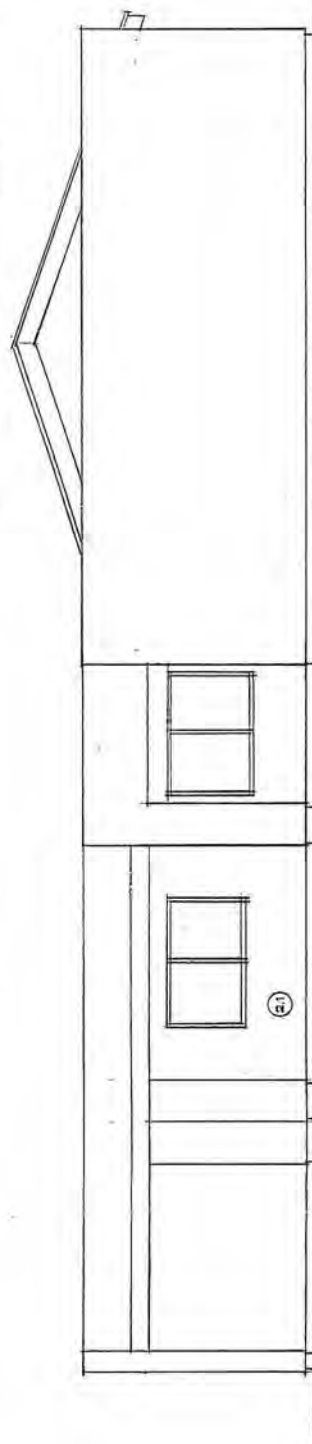
NOTE: MATCH ALL MATERIALS WITH EXISTING HOME

SIZE, TEXTURE AND COLOR, ETC.

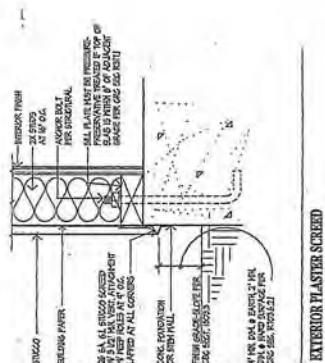
1



## SECTION B

$$\frac{1}{4''} = 1'-0$$


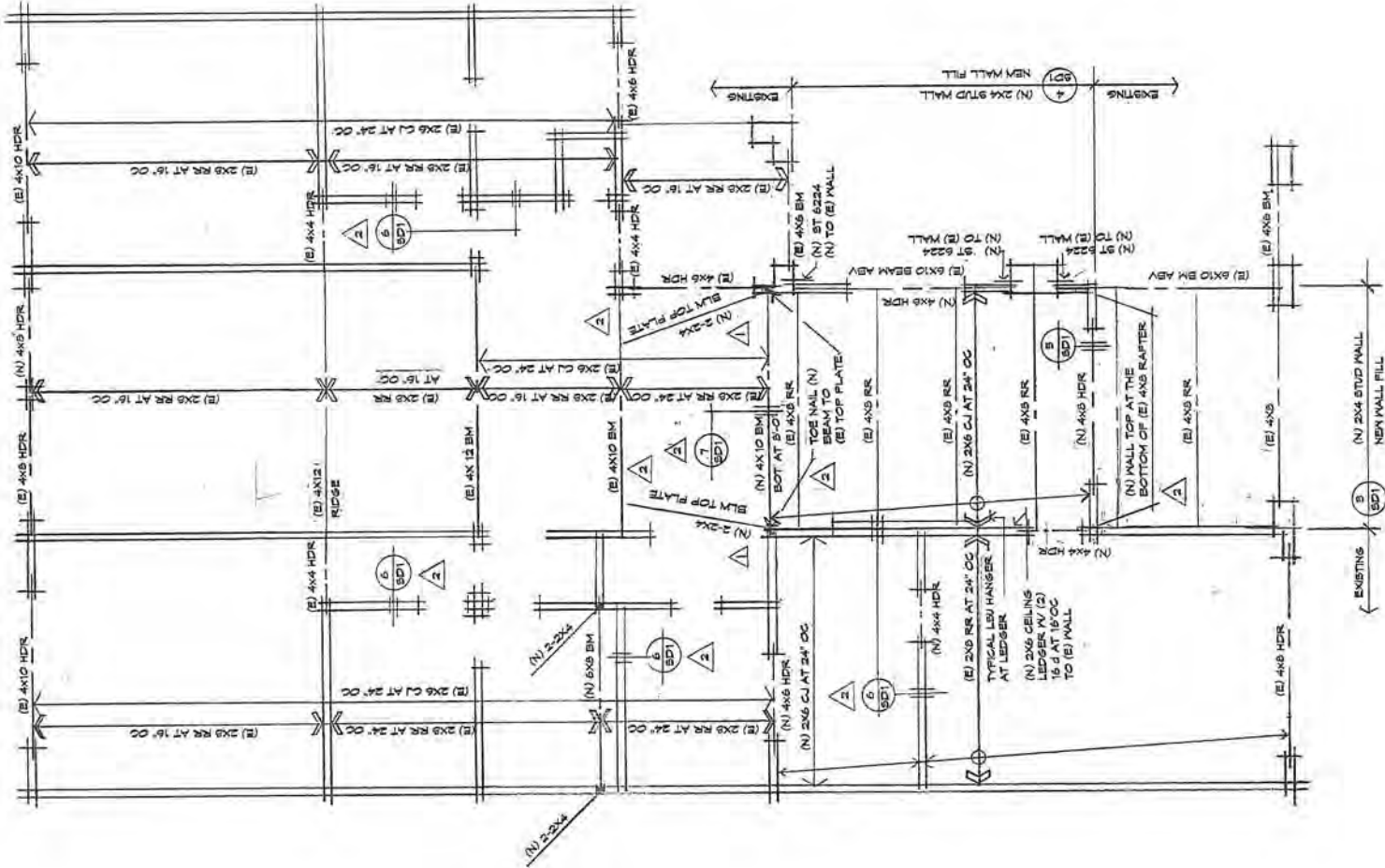
## RIGHT ELEVATION

$$1/4'' = 1' - 0''$$


## EXTERIOR PLASTER SCREED

Existing

ROOF FRAMING PLAN  
1/4"=1'-0"



FRAMING NOTES

(N) BEAMS  
BEAMS ARE #2 DOUGLAS FIR LARCH

STRUCTURAL CONCRETE  
ALL CONCRETE MATERIAL AND CONSTRUCTION SHALL  
CONFORM TO CHAPTER 14 OF THE BUILDING CODE  
CONCRETE SHALL BE PROPORTIONED TO PROVIDE A MINIMUM  
CONCRETE STRENGTH OF 4000 PSI AT 28 DAYS  
WATER-CEMENT RATIO OF 0.45, AND TYPE I CEMENT

SYMBOLS  
○ BEAM # PER CALCULATIONS  
△ SHEAR WALL PER SCHEDULE  
= BEARING WALL

NOTES  
EXISTING (E) FRAMING UNDER NEW (N) ADDITION  
MUST BE FIELD VERIFIED DURING CONSTRUCTION.  
NOTIFY ENGINEER OF ANY DISCREPANCIES  
BETWEEN ASSUMED FRAMING AND ACTUAL FRAMING  
FASTENERS IN PRESSURE-TREATED AND FIRE-RETARDANT  
TREATED WOOD SHALL BE OF HOT-DIPPED, ZINC-COATED  
SALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE  
OR COPPER.

CONTRACTOR IS RESPONSIBLE FOR PROVIDING  
NECESSARY PERMITS AND OBTAINING ALL NECESSARY  
NEEDED TO COMPLY WITH NEW FRAMING REQUIREMENTS  
SEE DETAIL SHEETS FOR ADDITIONAL FRAMING NOTES,  
SHEAR WALL SCHEDULE AND NAILING SCHEDULE  
NOTE: SPECIAL INSPECTION P/ SECTION 1204  
IS REQUIRED AT ALL EPXY INSTALLATION  
AT SHEAR PANEL, IV NAILING 4" OC OR LESS

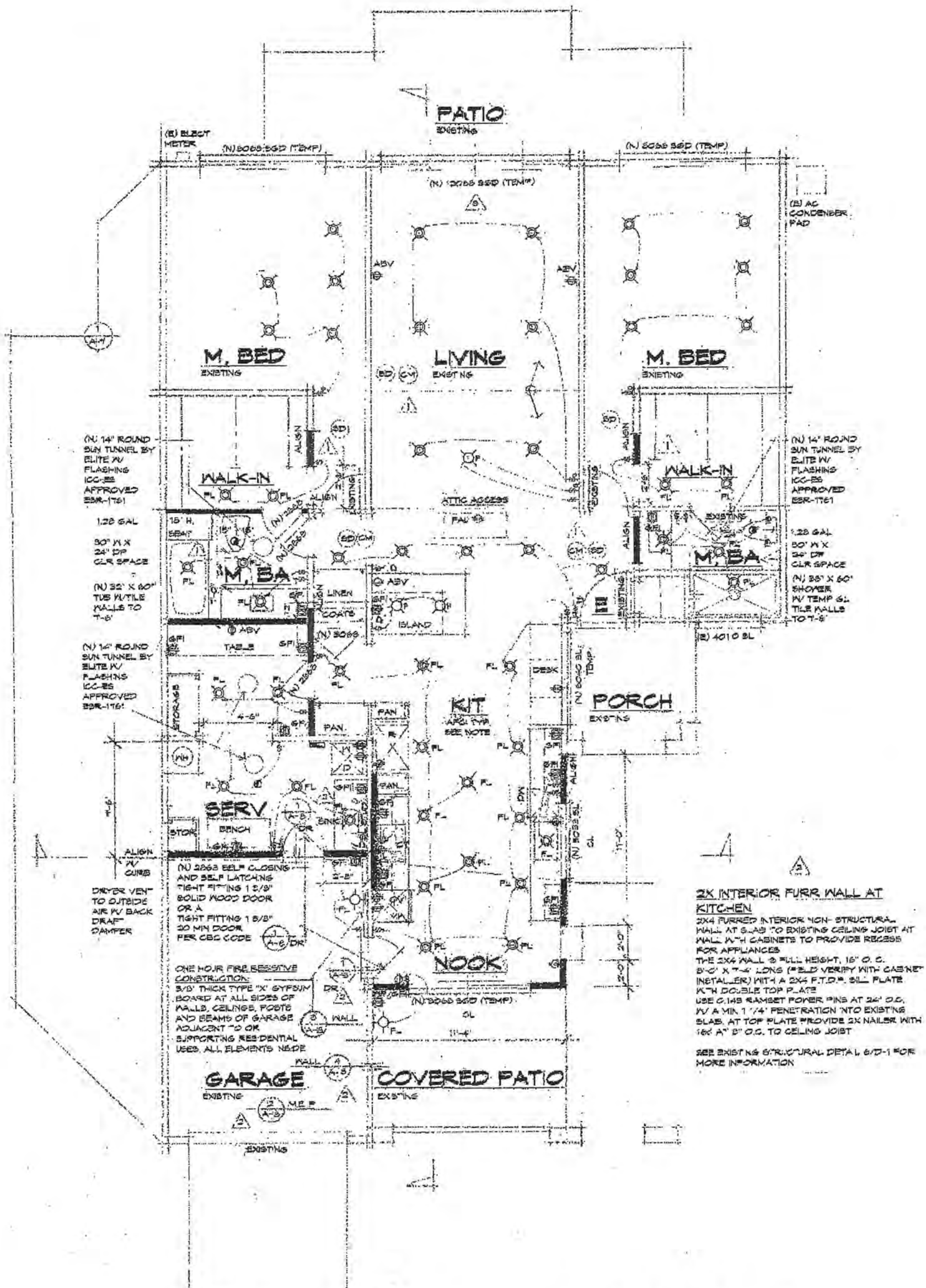
ADDITON FOR:  
LYNNE CORBOZ  
5505 C BAHIA BLANCA WEST  
LAGUNA WOODS, CA 92653

DESIGN BY:  
PHILLIP G. BUDOVEC  
CHRISTINA R. SILVA  
STRUCTURAL

A-6







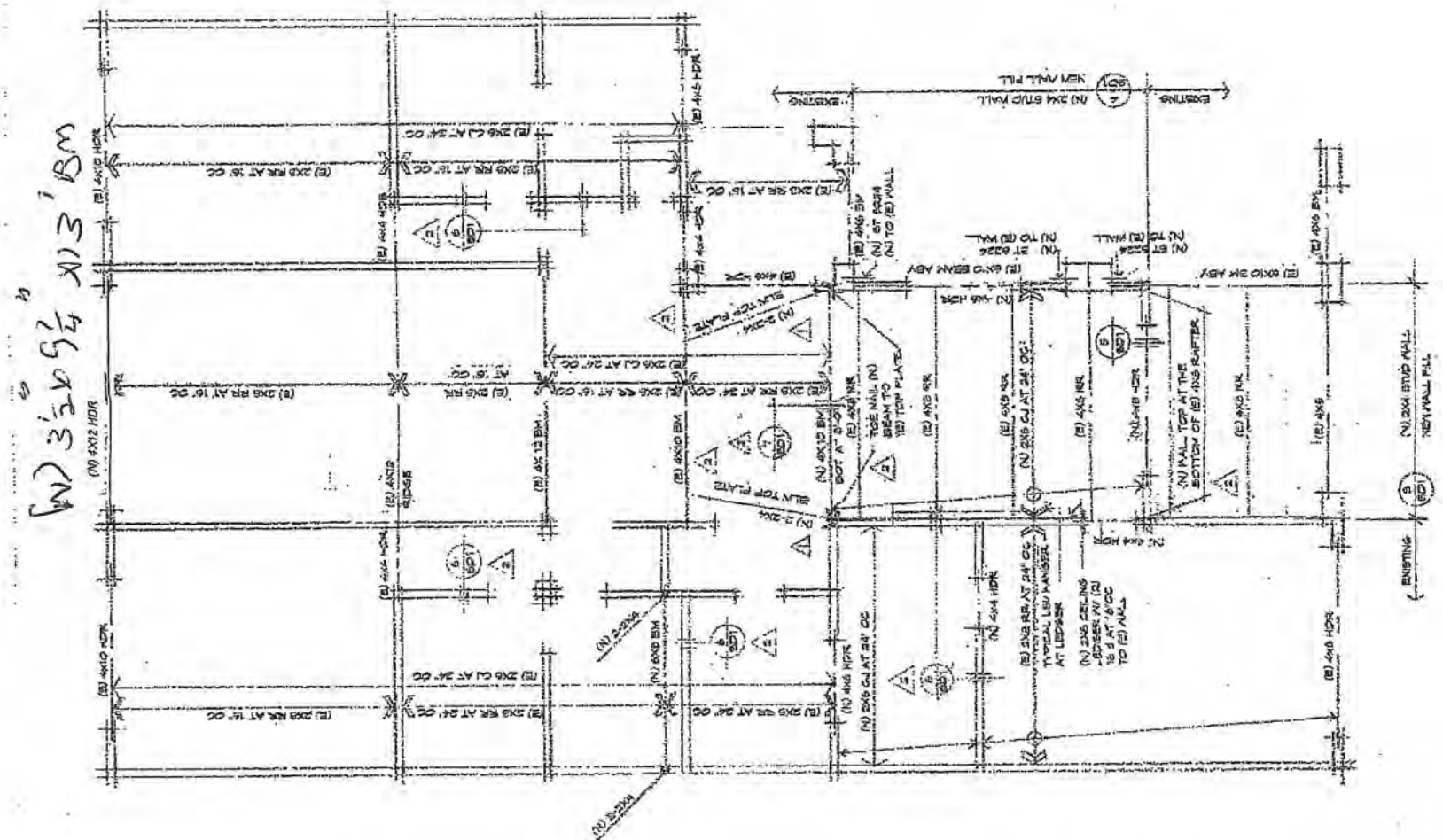
Revised A3

NEW FLOOR PLAN  
1/4"=1'-0"



Revised A6

ROOF FRAMING PLAN  
1/4"=1'-0"



FRAMING NOTES

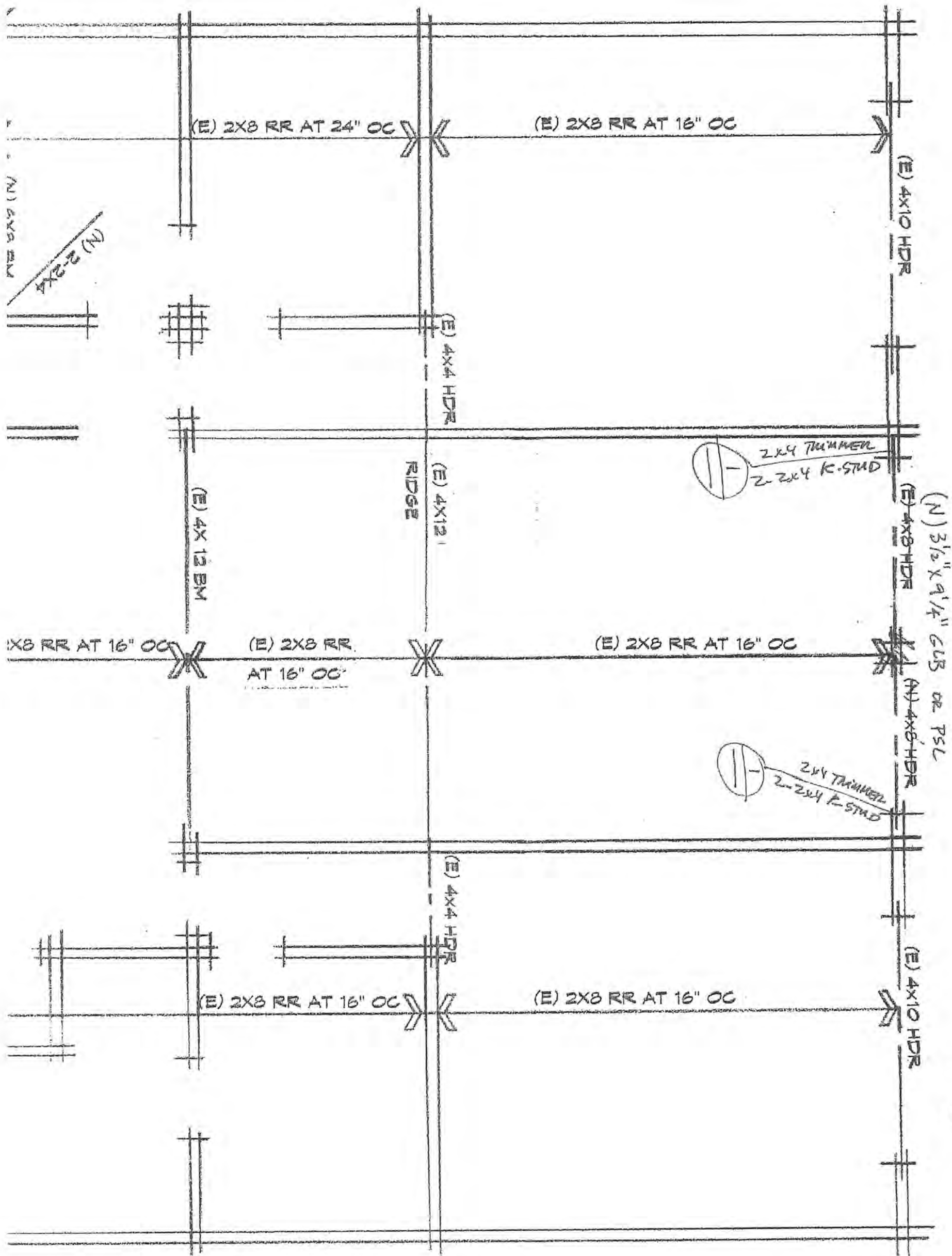
- ALL BEAMS ARE 10 DOUBLES PER LARCH
- STRUCTURAL CONCRETE
- ALL CONCRETE MATERIAL AND CONSTRUCTION SHALL CONFORM TO CHAPTER 18 OF THE BUILDING CODE
- CONCRETE SHALL BE PROPORTIONED TO PROVIDE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS
- WATER - CEMENT RATIO OF 0.45 AND TYPE V CEMENT
- SYMBOLS
- BEAM - PER CALLOUTS
- SHEAR WALL - PER SCHEDULE
- BEARING WALL
- NOTES:
- ANY EXISTING (E) FRAMING UNDER NEW (N) ADDITION MUST BE FIELD VERIFIED DURING CONSTRUCTION
- NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN ASSUMED FRAMING AND ACTUAL FRAMING
- PARTISERS IN PRES-RESISTED AND FIRE-RETARDANT TREATED WOOD SHALL BE OF HOT-DIPPED, ZINC-COATED GALVANIZED STEEL, 5" X 1/2" X 1/2" OR CUPPER
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE SHORING OF EXISTING FRAMING AS NEEDED TO COMPLY WITH NEW FRAMING REQUIREMENTS
- SEE DETAIL SHEETS FOR ADDITIONAL FRAMING NOTES
- NOTE: SPECIAL NOTATION P. 1/2 SECTION 104 IS REQUIRED AT ALL JOINT INSTALLATION AT BEARING WALL, WALLING 4" OC OR LESS

ADDITION FOR:  
LYNNE CORROZ  
3505 C BAHIA BLANCA WEST  
LAGUNA WOODS, CA 92651

DESIGN BY:  
PHILIP G. BUDOVIC

STRUCTURAL:  
CHRISTINA B. SILVA

A-6



Revision to A6

3-21-18  
Corboy





Laguna Woods Village

**Attachment 2**MANOR # 3505C☐ ULWM☒ TLHM

## Variance Request Form

SA 21239507

Model: <u>Casa Rosa</u>	Plan:	Date:
Member Name: <u>Lynne A Corboz</u>	Phone: [REDACTED]	Email: [REDACTED]
Applicant Name/Co: <u>Lynne A Corboz</u>	Phone: [REDACTED]	Email: [REDACTED]

## Description of Proposed Variance Request ONLY:

Change previously approved plan for living room doors from two six foot patio doors to one twelve foot four panel patio door, Milgard Tuscan Series rail-on

## Dimensions of Proposed Variance Alterations ONLY:

New door is 12068

New beam is  $3\frac{1}{2} \times 9\frac{1}{4}$  GLB OR PSL X 13'

## FOR OFFICE USE ONLY

RECEIVED BY: [Signature] DATE RECEIVED: 3/22/18 Check# 315 BY: Lynne A Corboz

<b>Alteration Variance Request</b>  Check Items Received: <input checked="" type="checkbox"/> Drawing of Existing Floor Plan <u>A2</u> <u>See approved plans 180074</u> <input checked="" type="checkbox"/> Drawing of Proposed Variance <u>See revised A3, A4 attached</u> <input checked="" type="checkbox"/> Dimensions of Proposed Variance <u>See revised A6</u> <input checked="" type="checkbox"/> Before and After Pictures <u>PHOTO + ARCHITECTURE IMAGE</u> <input type="checkbox"/> Other: _____	<b>Complete Submittal Cut Off Date:</b>  Meetings Scheduled: Third AC&S Committee (TACSC): <u>3/22/18</u> United M&C Committee: _____ Board Meeting: _____ <input type="checkbox"/> Denied <input type="checkbox"/> Approved <input type="checkbox"/> Tabled <input type="checkbox"/> Other _____
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Agenda Item #8 Page 15 of 20









4-panel sliding door

NEW DOORS INTERIOR  
SmartTouch Interior Door Handle



## Attachment 3

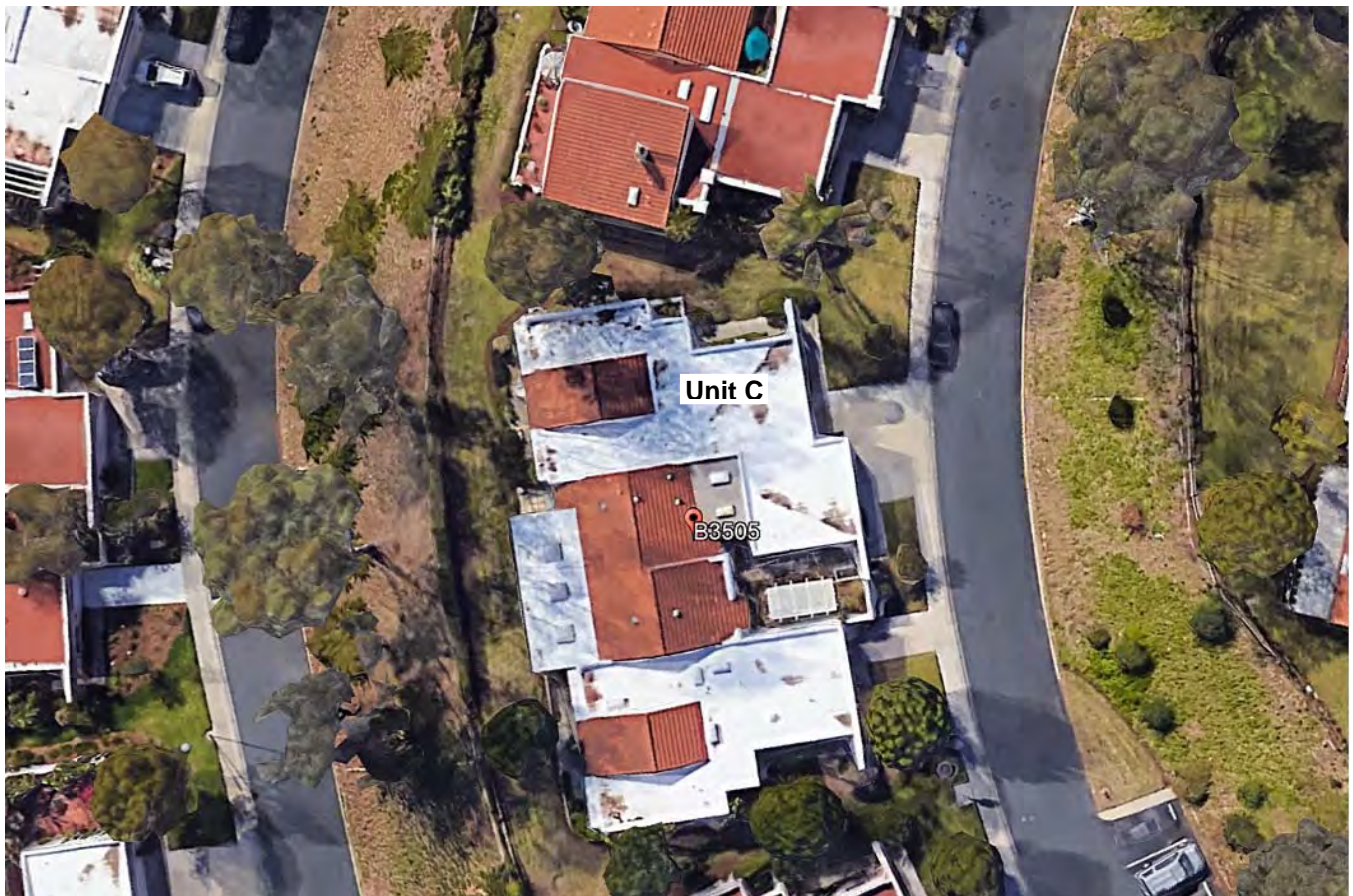








## Attachment 4







## STAFF REPORT

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**DATE:** April 23, 2018  
**FOR:** Architectural Control and Standards Committee  
**SUBJECT:** Variance Request  
Mr. Edward Dahlen Jr.: 5478-A (Villa Fuente, RP42C)  
Room and Patio Addition onto Common Area

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### **RECOMMENDATION**

Staff recommends the Board approve the request to construct a room addition and new patio onto Common Area with the conditions as stated in Appendix A.

### **BACKGROUND**

Mr. Dahlen of 5478-A Paseo Del Lago West, a Villa Fuente style unit, is requesting Board approval of a variance to build a room addition on the rear of the existing garage with a new covered patio slab (see Attachment 1). Due to the room and patio requested being located on Common Area, a variance is required.

This variance request would require 345 square feet of Common Area. Based upon the Common Area Use Policy, Resolution 03-17-77, and California Civil Code §4600, this variance request may be approved by the Board with the condition that the Member obtain an affirmative vote of 67% of the Mutual.

The cost of attaining the required vote would be borne by the Member. The cost of the proposed alteration would be also be borne by the Member.

### **DISCUSSION**

Mr. Dahlen is proposing to build a room addition on the back of the garage area with a covered patio extension.

The room addition will consist of wood frame construction with drywall and exterior stucco finish to match the existing exterior of the building. The proposed construction would have a flat, built-up roof with materials to match the garage roof. The new roof would follow the existing garage roofline and be 9'8" tall and run for 12'6", finishing level with the rear end of the rest of the building.

The room addition would measure the width of the garage 15'4" wide and would continue in length until level with the rear of the building (12'6"). The new room would contain a built-in closet, and would have access to the rest of the unit via a new hallway with door measuring 5'10" wide by 4'4" long constructed at the rear of the garage. Egress from the new room directly to the outside will be via an 8' wide by 6'8" tall sliding glass door that will lead onto the proposed new patio slab.

The proposed new patio slab will measure the width of the new room addition (15'4") and extend 10' to match the length of the existing patio slab. A new patio cover is being proposed that will match the height (8'1") and slope (3/8:12) of the previously approved bedroom extensions roof, so that the entire rear unenclosed patio is covered.

A City permit for the new construction would ensure building code is met for structural integrity.

Staff was unable to find any previous examples of a similar alteration request on file.

The Common Area Usage Policy passed via Resolution 03-17-77; Staff recommends denial of the request due to not meeting all the requirements for granting exclusive use of Common Area to a single Member.

At the time of preparing this report, there are no open Mutual Consent for Manor 5478-A.

Neighbor Awareness Notices were mailed to 5477-A and 5577-B on April 16, 2018 due to being within line of sight to the proposed alteration.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 5478-A.

**Prepared By:** Gavin Fogg, Alterations Inspector II

**Reviewed By:** Kurt Wiemann, Permits, Inspections & Restoration Manager

Eve Morton, Alterations Coordinator

#### **ATTACHMENT(S)**

- Appendix A: Conditions of Approval
- Attachment 1: Site Plan
- Attachment 2: Variance Request
- Attachment 3: Photos
- Attachment 4: Map



## APPENDIX A

### CONDITIONS OF APPROVAL

Conditions of approval would be as follows:

1. In order for the Board's approval for the below mentioned alteration to take effect, as per California Civil Code §4600, regarding the transfer of the use of any portion of the Common Area, as defined in the CC&Rs, ("Common Area") to an individual Manor Owner, written approval of at least sixty-seven percent (67%) of the Manor Owners **in their Mutual.**
2. No improvement shall be installed, constructed, modified or altered at Manor **5478-A**, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Manor Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Manor Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
3. A Variance for Manor Alterations has been granted at **5478-A** for a **Room and Patio Addition onto Common Area**, subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.
4. Prior to the issuance of a Mutual Consent for Manor Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
5. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at 5478-A and all future Mutual members at 5478-A.
6. Prior to the Issuance of a Mutual Consent for Alterations, acoustical impacts shall be considered and will require noise reducing material such as sound dampening drywall on common walls of the alteration (such as QuietRock® drywall panels or similar approved products).
7. All piping in bathrooms with adjacent units shall be insulated for sound reduction, including penetrations thorough framing.
8. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Manor.
9. Paver install must be set in compacted subgrade.

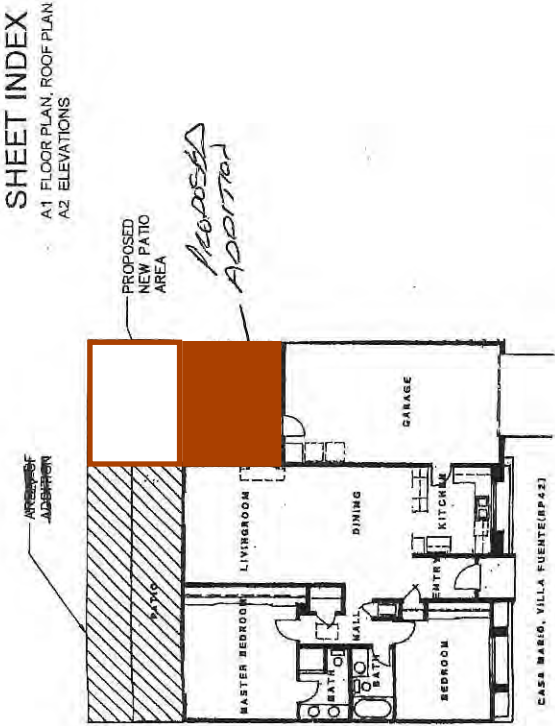
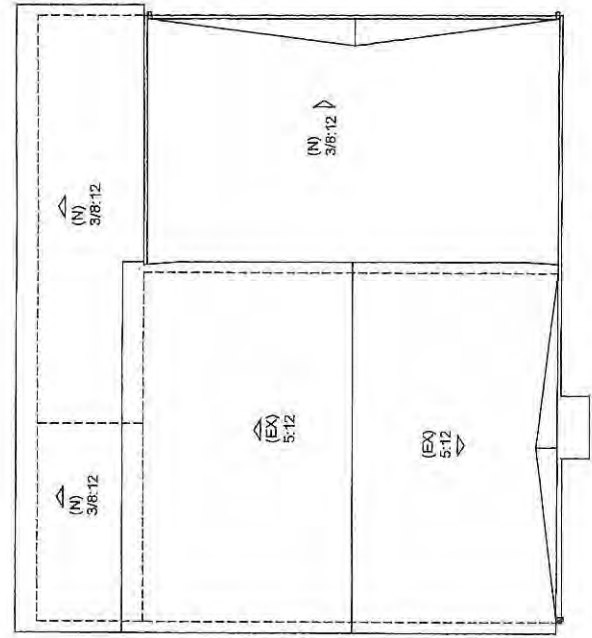
10. Member Owner(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.
11. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Manor Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
12. Prior to the issuance of a Mutual Consent for Manor Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member Owner may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member Owner's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member Owner's expense during construction of the improvement.
13. Prior to the issuance of a Mutual Consent for Manor Alterations, the Member Owner shall request a Landscape Department inspection in order to assure all landscape, irrigation, and drainage modifications associated with the improvements are identified and completed by the Landscape Department at the expense of the Member Owner. All gutter drainage shall be directed away from structures, free standing walls, foundations, and pedestrian walkways.
14. Prior to the issuance of a Mutual Consent for Manor Alterations, the Member Owner shall request a Broadband infrastructure inspection to assure that Mutual property is appropriately identified in order to be addressed during construction.
15. Prior to the issuance of a Mutual Consent for Manor Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "Third Laguna Hill Mutual Color Selections" at Resident Services, located at the Community Center first floor.
16. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that all such persons are his/her invitees. Member Owner shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
17. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the

Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.

18. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.
19. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invites.
20. Member Owner's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
21. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
22. Prior to the Issuance of a Mutual Consent for Unit Alterations, the Member shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500. The Conformance Deposit will be held until Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.
23. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Member Owner or the Property, to cover and/or recoup any costs whatsoever, including, but not be limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Member Owner; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Member Owner's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.
24. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Member Owner agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.
25. Any remaining Conformance Deposit is refundable if the Member Owner notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was

posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Member Owner's address of record with the Mutual. Under no circumstances shall Member Owner be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Member Owner within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.

26. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards. See <http://www.lagunawoodsvillage.com>.
27. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
28. During construction, both the Mutual Consent for Manor Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
29. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
30. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. Any dumpster must be covered and locked at the end of each day. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
31. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
32. The Mutual Consent for Manor Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
33. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Owner Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
34. Mutual member shall indemnify, defend and hold harmless Third and its officers, directors, committee members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual member's improvements and installation, construction, design and maintenance of same.



GENERAL NOTES:

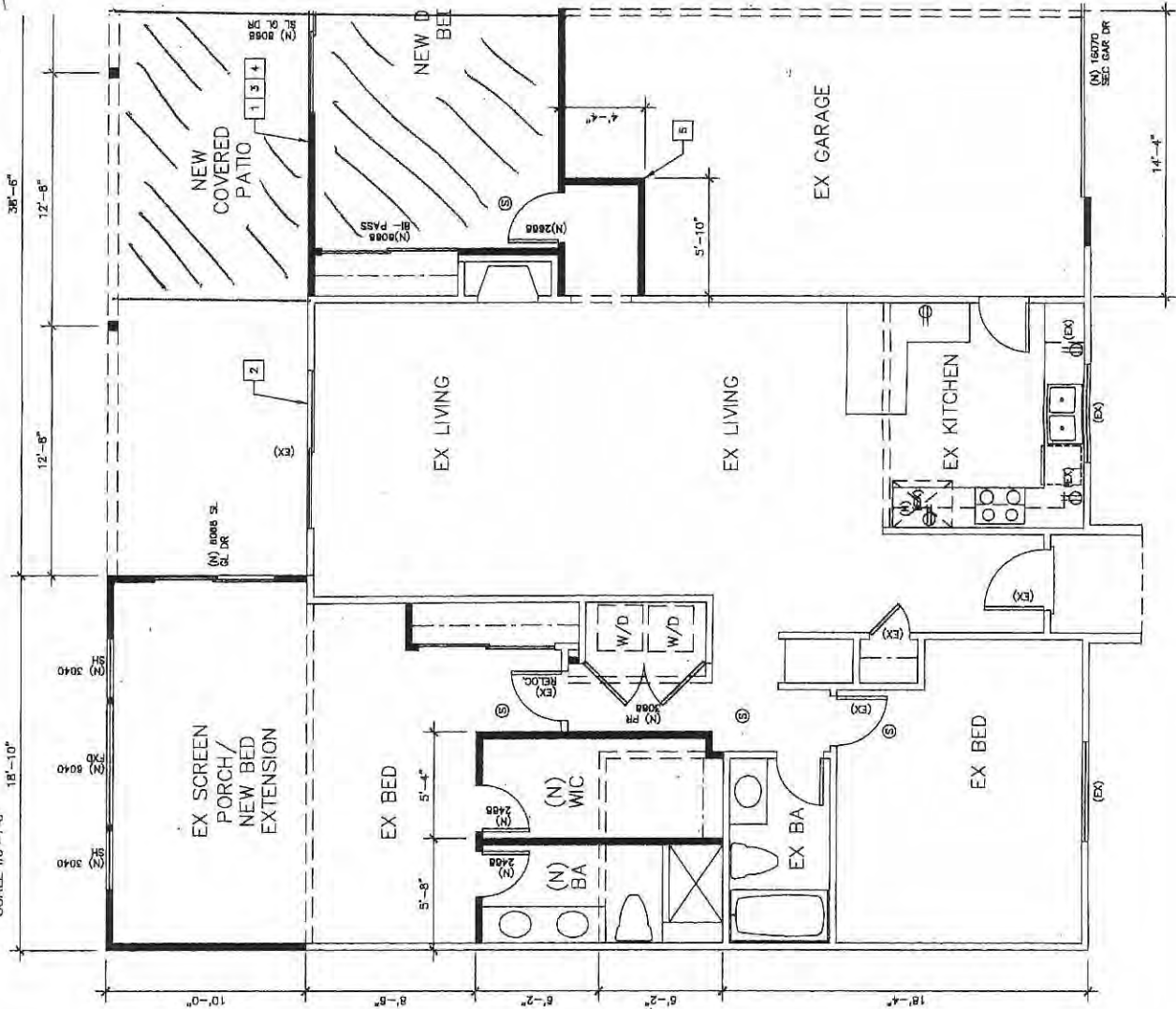
- PROJECT SHALL COMPLY WITH THE 2016 CBC, CMC, CPC, CEC AND LOCAL ORDINANCES
- OCCUPANCY R-3 SINGLE FAMILY, ADDITION, TYPE VB CONSTRUCTION.
- POLLUTANTS- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM, PAINTS, OILS, OR OTHER HAZARDOUS MATERIALS SHALL BE PLACED IN ANY WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
- ALL NEW CONSTRUCTION SHALL BE 100% LEAK PROOF.
- ALL NEW CONSTRUCTION SHALL BE 100% LEAK PROOF.
- CONCRETE, 2,000 PSI @ 28 DAYS
- INSULATION: BATT TYPED, R-13 AT WALLS AND R-30 AT ROOF
- ALL NEW CONSTRUCTION SHALL BE 100% LEAK PROOF.
- ALL NEW CONSTRUCTION SHALL BE 100% LEAK PROOF.
- ALL NEW CONSTRUCTION SHALL BE 100% LEAK PROOF.
- ALL NEW CONSTRUCTION SHALL BE 100% LEAK PROOF.

FLOOR PLAN NOTES:

- SQUARE FOOTAGE:  
EXISTING HOUSE: 1,200 SF  
NEW BED: 188 SF  
NEW BATH: 100 SF  
TOTAL ADDITIONS: 288 SF  
COVERED PATIO: 365 SF  
NEW GARAGE EXT: 263 SF
  - ALL BEDROOMS SHALL HAVE AT LEAST ONE WINDOW FOR VENTILATION. WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQ. FT. WITH A MINIMUM CLEAR HEIGHT OF 24". A MINIMUM CLEAR WIDTH OF 20" SHALL BE MAINTAINED. ALL WINDOWS SHALL BE 1/2" ABOVE FINISH FLOOR HEIGHT OF 14" ABOVE FINISH FLOOR.
  - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION FOR ACTION OR CLARIFICATION.
- |   |  |
|---|--|
| 1 | 2 X 4 STUD WALL  |
| 2 | LINE OF EXISTING HOUSE   |
| 3 | NEW WALLS SHOWN SHADDED  |
| 4 | PROVIDE R-13 SOUND INSULATION                                  |
| 5 | PROVIDE 5/8" TYPE X GYPSO AT THIS SIDE OF GARAGE TO HOUSE WALL |

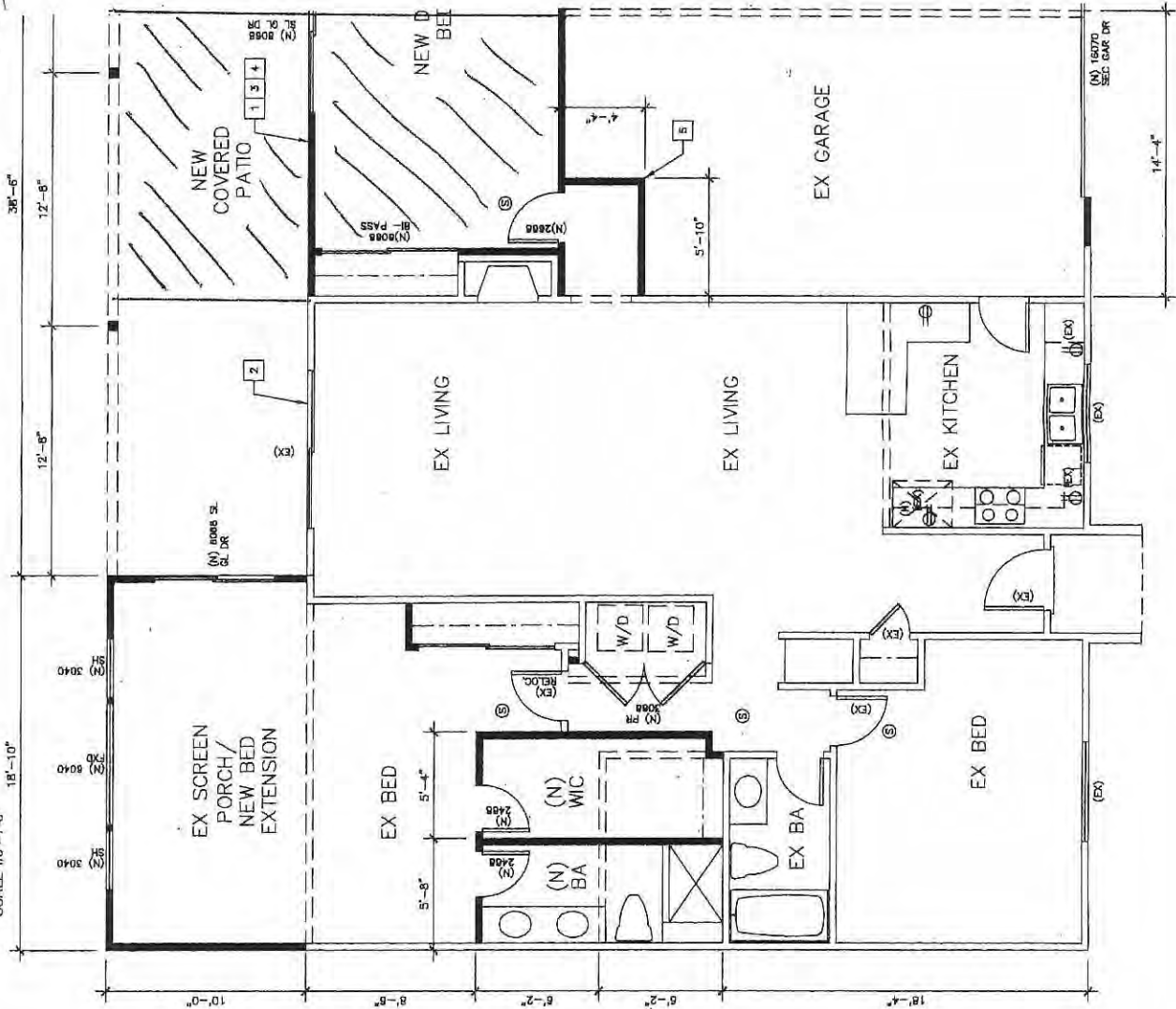
EXISTING FLOOR PLAN

SCALE: 1/8"=1'-0"



ROOF PLAN

SCALE: 1/8"=1'-0"



FLOOR PLAN

SCALE 1/4"=1'-0"

DAHLEN RESIDENCE  
5478 PASEO DEL LAGO W  
LAGUNA WOODS, CA

DATE  
23 AUG 2017

REVISIONS



A1

Attachment 1

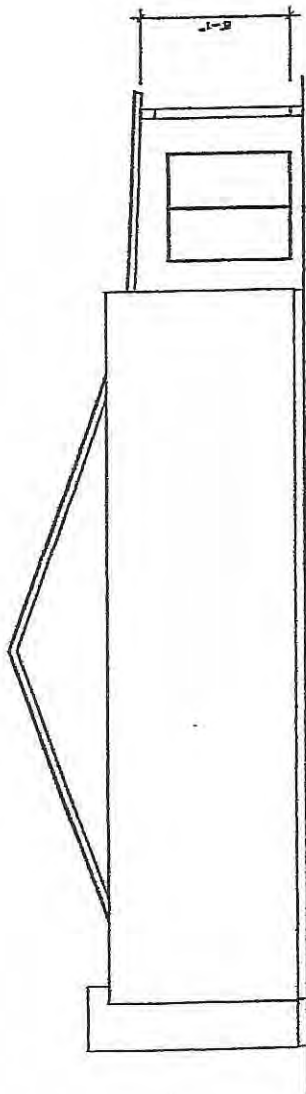


**DAHLEN RESIDENCE**  
5478 PASEO DEL LAGO W  
LAGUNA WOODS, CA

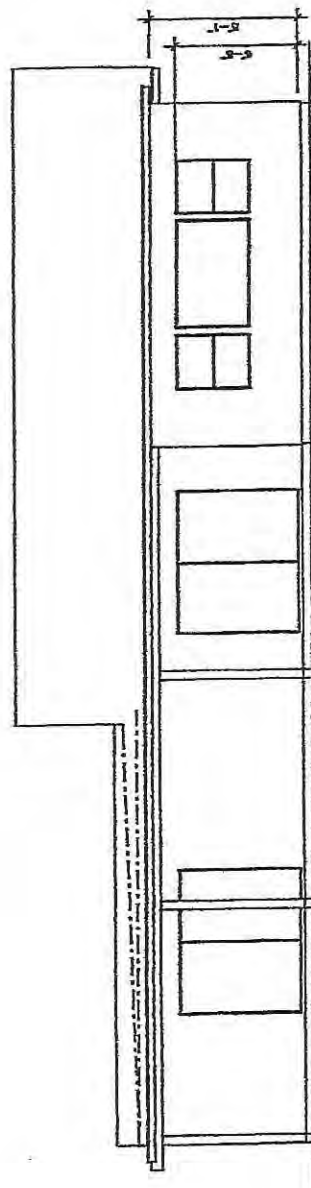
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A2



RIGHT ELEVATION  
SCALE 1/4"=1'-0"



REAR ELEVATION  
SCALE 1/4"=1'-0"

# Attachment 2



MANOR # 5478-A

☐ ULWM ☒ TLHM

## Variance Request Form

SA 212 36763

Model: <u>CASA MARIO</u>	Plan: <u>VILLA FUENTE</u>	Date:
Member Name: <u>ED DAHLER</u>	Signature: <u>[Signature]</u>	
Phone: [Redacted]	E-mail: [Redacted]	
Contractor Name/Co: <u>TBD</u>	Phone:	E-mail:
Mailing Address: (to be used for official correspondence) [Redacted]		

### Description of Proposed Variance Request ONLY:

ADDITION OF PORCH / STUDY  
EXTENSION OF EXISTING PATIO

### Dimensions of Proposed Variance Alterations ONLY:

Porch 14' 4" X 12' 6"  
Patio 10' 0" X 14' 4"

### FOR OFFICE USE ONLY

RECEIVED BY: Joel Jimenez DATE RECEIVED: 3/13/18 Check# 6271 BY: Edward J. Dahler Jr.

<b>Alteration Variance Request</b>	<b>Complete Submittal Cut Off Date:</b>
<b>Check Items Received:</b> <input type="checkbox"/> Drawing of Existing Floor Plan <input type="checkbox"/> Drawing of Proposed Variance <input type="checkbox"/> Dimensions of Proposed Variance <input type="checkbox"/> Before and After Pictures <input type="checkbox"/> Other: _____	<b>Meetings Scheduled:</b> Third AC&S Committee (TACSC): <u>4/23/18</u> United M&C Committee: _____ Board Meeting: _____ <input type="checkbox"/> Denied <input type="checkbox"/> Approved <input type="checkbox"/> Tabled <input type="checkbox"/> Other: _____

v.1.18





## Attachment: 3

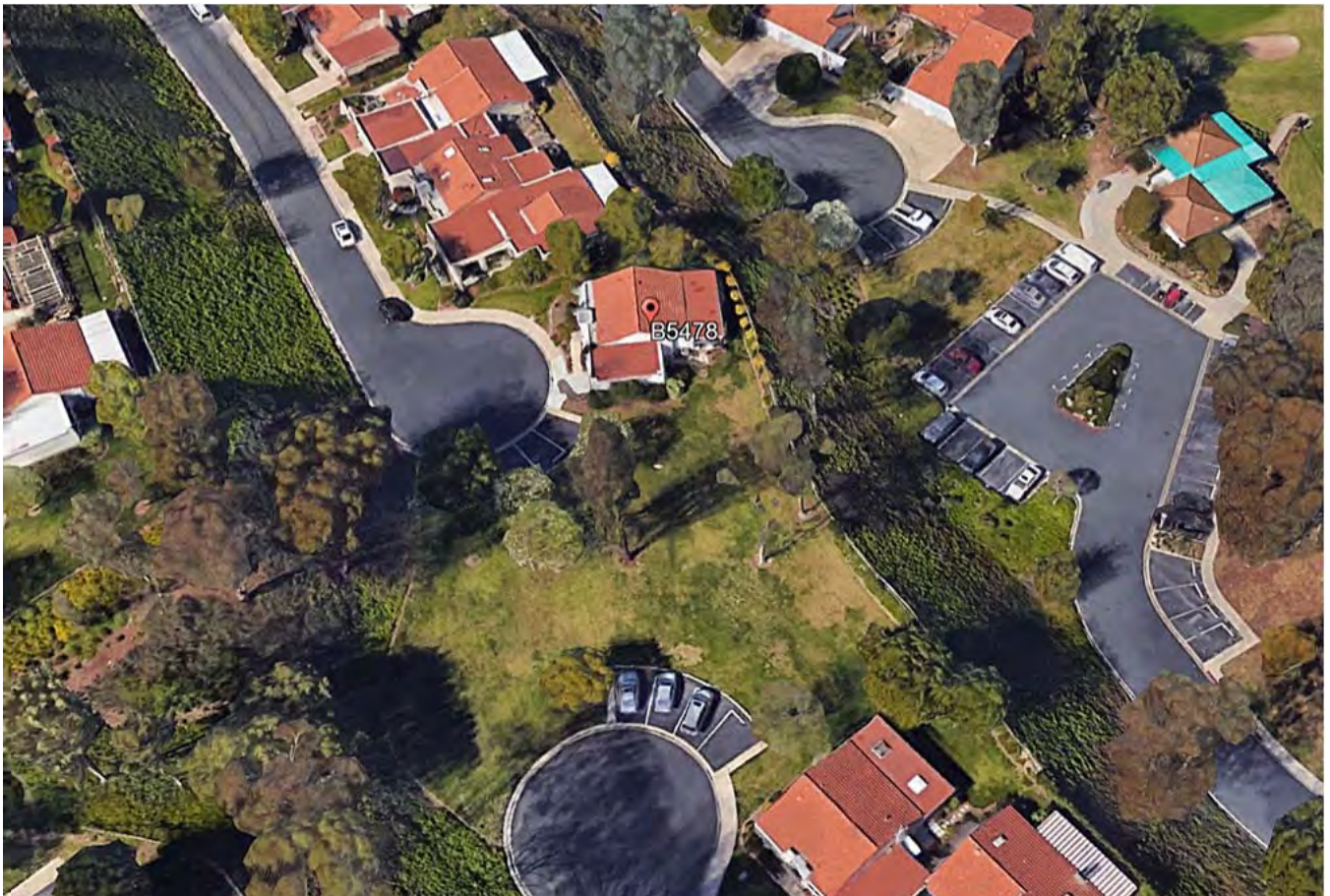








## Attachment: 4





# **Third Laguna Hills Mutual**

## **Section 41 - Solar Panels, 1 Story Buildings**

**ADOPTED JANUARY 2008, RESOLUTION 03-08-09  
GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49  
REVISED OCTOBER 2014, RESOLUTION 03-14-107  
REVISED JANUARY 2016, RESOLUTION 03-16-08**

### **1.0 GENERAL REQUIREMENTS**

See Standard Section 1: General Requirements

### **2.0 APPLICATIONS**

- 2.1.** In this section, "Solar Panel" refers to roof mounted panels that use solar energy to either heat water directly (Solar Water Heating System), or to generate electricity using photo-voltaic cells (Solar Electric System).
- 2.2.** This section refers only to single story dwellings and the roof section of the building that covers the footprint of the Manor for which the request is being submitted.
- 2.3.** All costs and maintenance of the alteration, present and future, are the responsibility of the Mutual Member.
- 2.4.** All costs associated with roof replacement above and beyond the typical cost for roof replacement that are due to the solar panel installation shall be borne by the Member(s).
- 2.5.** Detailed, site-specific plans for all water and electrical lines for the solar panel installation, including penetrations, shall be submitted to the Manor Alterations Department for approval.
- 2.6.** Should the proposed location of solar panels be in an area that is technically Common Area, e.g., the roof, then the applicant is required to execute and submit to Third Laguna Hills Mutual, prior to installation of a solar panels, the "Agreement Regarding Solar Panel Installation on Common Area Property" or similarly titled document.
- 2.7.** Structural calculations for the existing roof structure, signed and wet-stamped by a California-licensed structural engineer are required to ensure the solar panel system does not compromise the existing roof structure and that the roof is adequate to accept

attachments and to support all applied loadings, per the California Building Code and any other applicable laws or ordinances.

- 2.8. The mounting system must have a current Engineering Certification that certifies the system will be structurally adequate and satisfy building codes when installed per the instructions.
- 2.9. Flat roof mounting shall be set with the highest point flush with the top of the parapet wall so as to be hidden from the ground or surrounding properties.
- 2.10. Flat roof mounting must leave a minimum of two feet between the panels and the parapet to permit access.
- 2.11. Water and electric lines must be set on blocking above the surface to facilitate re-roofing.
- 2.12. Detailed plans of the installation of roof jacks should be submitted to the Permits and Inspections office for approval.
- 2.13. Lag screws must have adequate pullout strength and shear capacities.
- 2.14. Regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member's expense.
- 2.15. Connections to the manor's electrical system must be coordinated with the local electric utility.
- 2.16. Solar Electric Panels, and their associated electrical components, must be UL approved, or comply with equivalent international standards.
- 2.17. A solar panel system may only serve a single manor.
- 2.18. Leasing of Solar Panels is permitted only under the following conditions:
  - a. Only pre-paid leases are permitted, and Member must provide the Mutual a copy of the pre-paid lease contract together with proof of payment before any work on the construction or installation of the solar panel system begins; and
  - b. The pre-paid lease contract must be assignable by the Member.

### **3.0 OBLIGATIONS**

- 3.1** The Mutual Member must sign and submit to Third Laguna Hills Mutual, c/o VMS, Inc, Community Services, the “Recordable Common Area Agreement” for the subject solar panel installation utilizing Common Area.
- 3.2** Member accepts responsibility and agrees to pay for repairs to common areas, including but not limited to roofing, framing, wiring and drywall caused, in whole or in part, by Member’s solar panels or their installation, operation, maintenance or removal, and Member accepts all responsibility for damage to Member’s Manor or other Manors or to personal property caused or contributed to by the installation, operation, maintenance or removal of the solar panels.
- 3.3** The Member is responsible for, and will bear all costs associated with removing, altering, covering or reinstalling the alteration as may be necessary or appropriate to allow the Mutual to conduct maintenance or repairs of common area. If the Mutual gives a minimum of thirty (30) days advance written notice of the need to remove, alter, cover or replace the solar panel and the Member does not accomplish this within five calendar days before the removal, alteration, or covering is necessary, then the Mutual will accomplish the removal, alteration or covering at the Member’s cost, which will be billed as a Chargeable Service to the Member.
- 3.4** The Member is responsible for, and will bear all costs associated with, clean-up or repair of Mutual owned or controlled property made necessary by or resulting from the alteration.
- 3.5** All costs associated with roof replacement above and beyond the typical cost for roof replacement due to the solar panel installation shall be borne by the Member(s).
- 3.6** The roof area for possible solar panel installation is allocated only to the roof space directly above the subject Manor. It is Member’s responsibility to ascertain and adapt to any roof interference by vents or other roof installations already in place.
- 3.7** Upon sale of Member’s Manor, all obligations herein shall apply to all subsequent owners of the Manor.
- 3.8** If Member discontinues use of the solar panels, Member will remove the panels, all associated parts, connections and wiring associated with the solar panels after giving notice to the Mutual through the Permit and



- 3.9** Regardless of the roof type, the restoration of the roof must be performed by the Mutual's roofing contractor at the Member's expense.
- 3.10.** Member must present to the Mutual a vendor/installer agreement that requires vendor to hold harmless and indemnify the Mutual for any and all claims, damages, costs and expenses, including attorney fees related to or arising from the installation, use, maintenance, repair or removal of the solar panel system.



# **Third Laguna Hills Mutual**

## **Section 45 - Solar Panels, 2 Story Buildings with Flat Roofs**

**ADOPTED OCTOBER 2014, RESOLUTION 03-14-108  
REVISED JANUARY 2016, RESOLUTION 03-16-09**

### **1.0 GENERAL REQUIREMENTS**

See Standard Section 1: General Requirements

### **2.0 APPLICATIONS**

- 2.1** In this section, "Solar Panel" refers to roof mounted panels that use solar energy to generate electricity using photo-voltaic cells (Solar Electric System).
- 2.2** This section refers to two story dwellings with shared flat roof space. The system shall be designed so the panel array does not encroach outside of the area allocated on the roof for each owner of a manor. Refer to Pages 6, 7, 8, 9 and 10 for roof allocation on the flat roofs of 6-, 8-, and 12-unit buildings. The designated areas will be of a first come first serve basis.
- 2.4** Detailed, site-specific plans, including for all electrical lines for the solar panel installation, including penetrations, shall be submitted to the Manor Alterations Department for approval.
- 2.5** Detailed plans of the installation of roof jacks should be submitted to the Manor Alterations Department for approval, and installation of roof jacks, including hot mopping and flashing, is required to be completed during the original installation.
- 2.6** For all installations, all tie-ins must be performed by the Mutual's roofing contractor at the Member's expense.
- 2.7** Electric lines must be set on blocking above the surface to facilitate re-roofing.
- 2.8** Structural calculations for the existing roof structure, signed and wet-stamped by a California-licensed structural engineer are required to ensure the solar panel system does not compromise the existing roof structure and that the roof is adequate to accept

attachments and to support all applied loadings, per the California Building Code and any other applicable laws or ordinances.

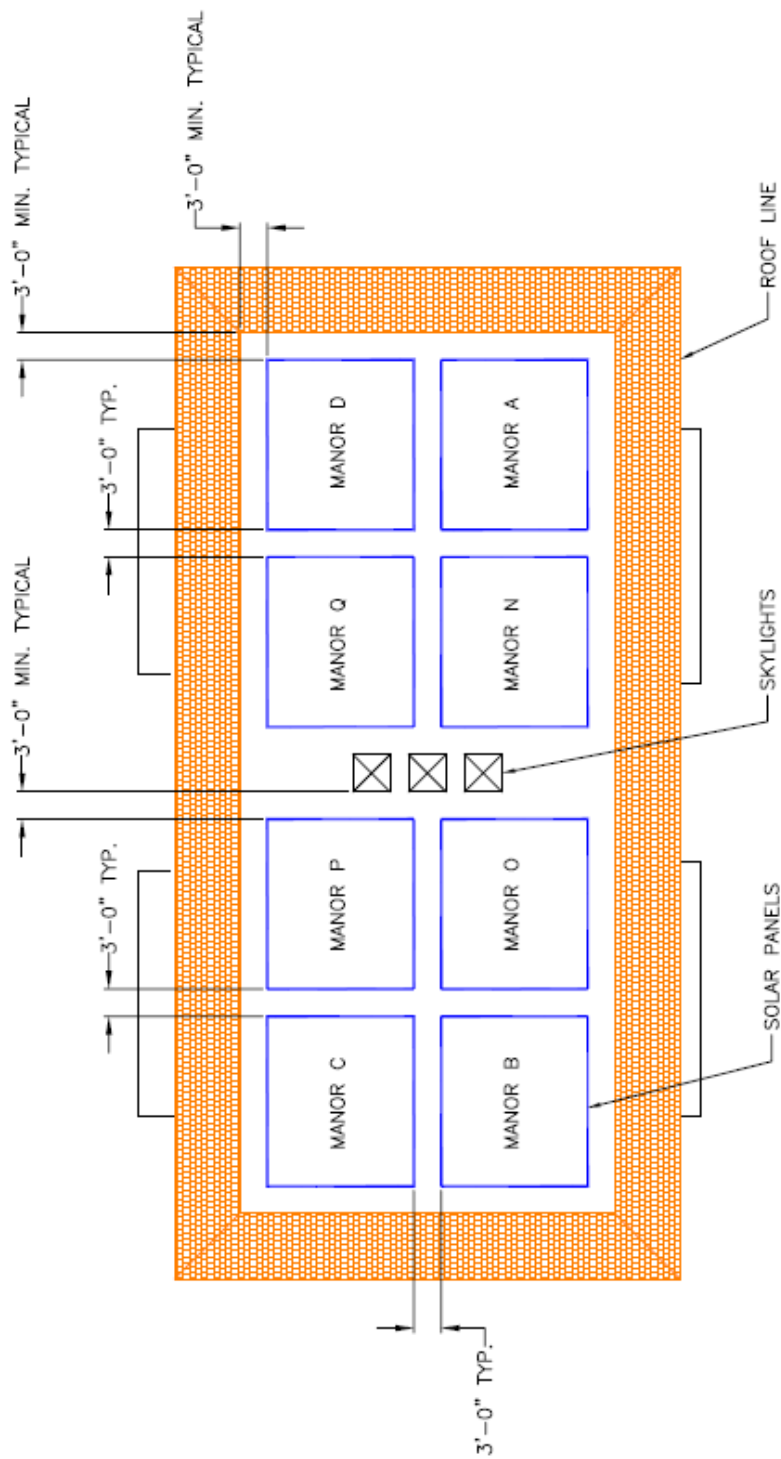
- 2.9** The mounting system must have a current Engineering Certification that certifies the system will be structurally adequate and satisfy building codes when installed per the instructions.
- 2.10** The solar panel array must be located a minimum of 3 feet from the edge of the roof; and a minimum of 3 feet shall be maintained between rows of solar panels, and between any architectural features such as, but not limited to skylights, mechanical equipment, and vent pipes in order to enable proper access for maintenance.
- 2.11** The solar panel array cannot be installed over any existing Mutual component or Member alteration.
- 2.12** Flat roof mounting shall be set with the highest point flush with the top of the parapet wall so as to be hidden from the ground or surrounding properties.
- 2.13** Lag screws must have adequate pullout strength and shear capacities.
- 2.14** The waterproof integrity of the roof, including the selection and use of appropriate flashing and sealers, must be maintained.
- 2.15** Solar Electric Panels, and their associated electrical components, must be UL listed, or comply with equivalent international standards.
- 2.16** The use of solar micro-inverter or power optimizer technology is required due to the potential number of separate systems that could be installed on one building.
- 2.17** A solar panel system may only serve a single Manor.
- 2.18** Leasing of Solar Panels is permitted only under the following conditions:
  - a. Only pre-paid leases are permitted, and Member must provide the Mutual a copy of the pre-paid lease contract together with proof of payment before any work on the construction or installation of the solar panel system begins; and
  - b. The pre-paid lease contract must be assignable by the Member.
- 2.19** Panels for water solar heating systems are not permitted.

### **3.0 OBLIGATIONS**

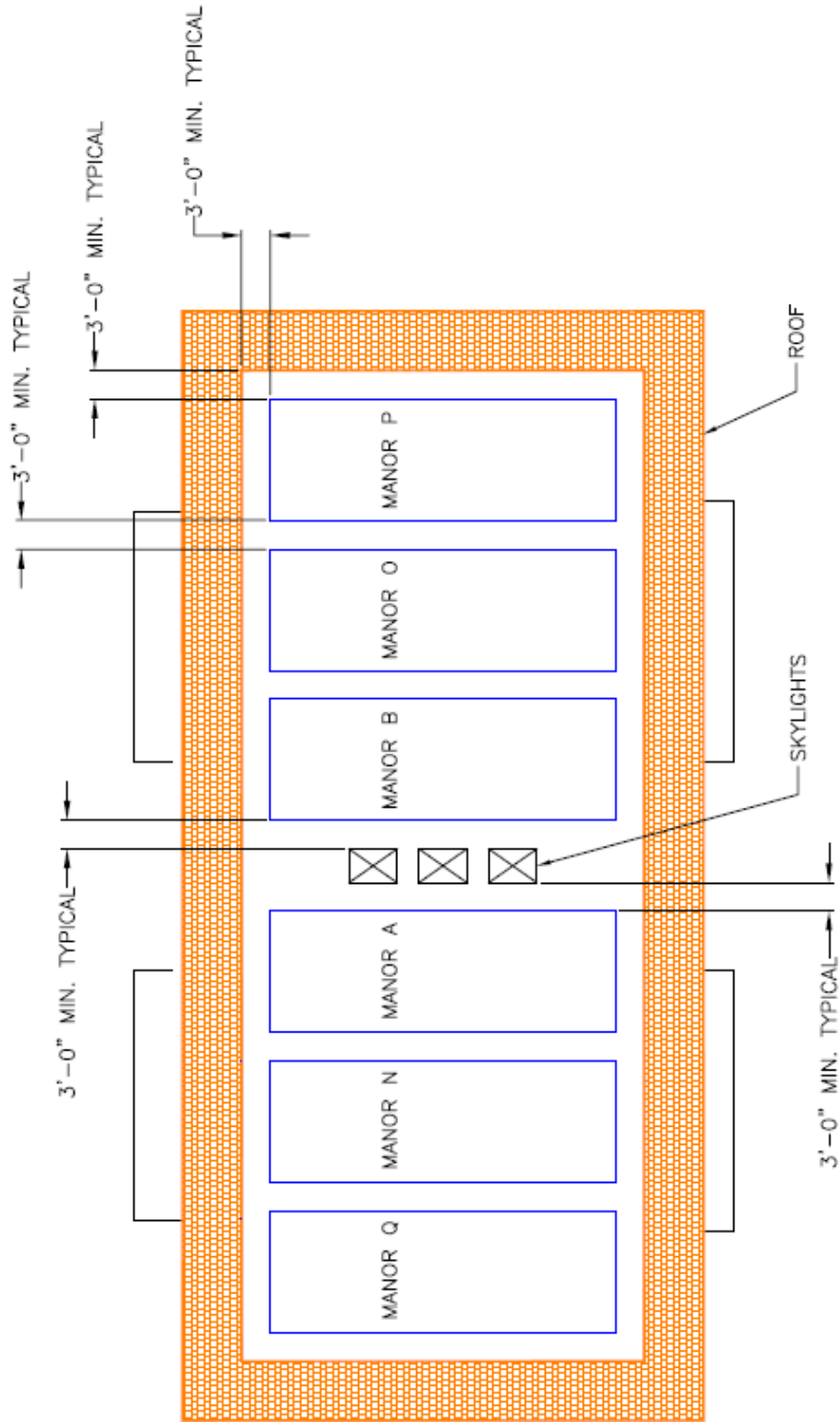
- 3.1** The Mutual Member must sign and submit to Third Laguna Hills Mutual, c/o VMS, Inc, Community Services, the “Recordable Common Area Agreement” for the subject solar panel installation utilizing Common Area.
- 3.2** Member accepts responsibility and agrees to pay for repairs to common areas, including but not limited to roofing, framing, wiring and drywall caused, in whole or in part, by Member’s solar panels or their installation, operation, maintenance or removal, and Member accepts all responsibility for damage to Member’s Manor or other Manors or to personal property caused or contributed to by the installation, operation, maintenance or removal of the solar panels.
- 3.3** The Member is responsible for, and will bear all costs associated with removing, altering, covering or reinstalling the alteration as may be necessary or appropriate to allow the Mutual to conduct maintenance or repairs of common area. If the Mutual gives a minimum of thirty (30) days advance written notice of the need to remove, alter, cover or replace the solar panel and the Member does not accomplish this within five calendar days before the removal, alteration, or covering is necessary, then the Mutual will accomplish the removal, alteration or covering at the Member’s cost, which will be billed as a Chargeable Service to the Member.
- 3.4** The Member is responsible for, and will bear all costs associated with, clean-up or repair of Mutual owned or controlled property made necessary by or resulting from the alteration.
- 3.5** All costs associated with roof replacement above and beyond the typical cost for roof replacement due to the solar panel installation shall be borne by the Member(s).
- 3.6** The roof area for possible solar panel installation is allocated to Manors within a given building as in the attached diagrams. It is Member’s responsibility to ascertain and adapt to any roof interference by vents or other roof installations already in place.
- 3.7** Upon sale of Member’s Manor, all obligations herein shall apply to all subsequent owners of the Manor.
- 3.8** If Member discontinues use of the solar panels, Member will remove panels, all associated parts, connections and wiring

associated with the solar panels after giving notice to the Mutual through the Permit and Inspections office.

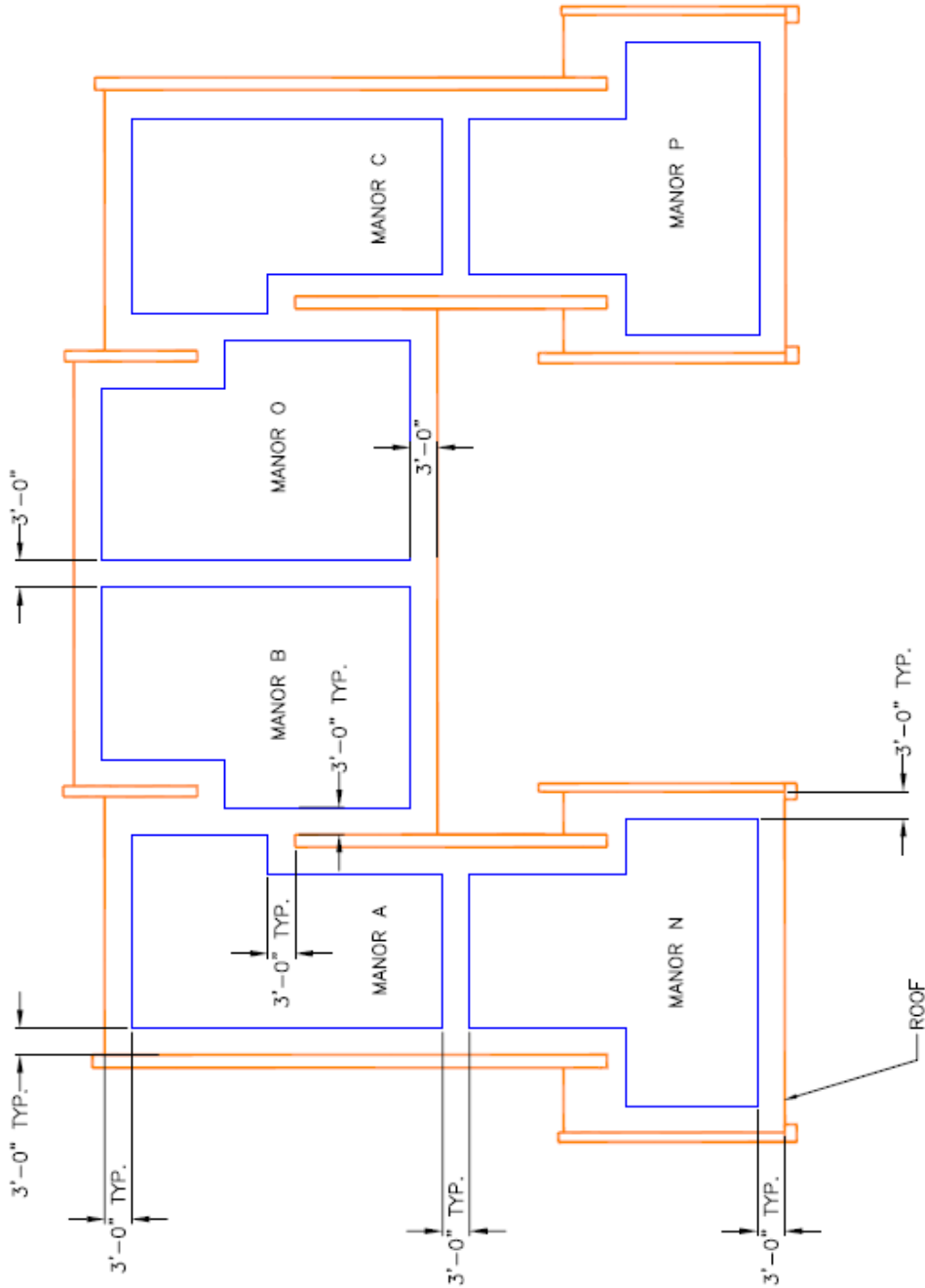
- 3.9** Regardless of the roof type, the restoration of the roof must be performed by the Mutual's roofing contractor at the Member's expense.
- 3.10** Member must present to the Mutual a vendor/installer agreement that requires vendor to hold harmless and indemnify the Mutual for any and all claims, damages, costs and expenses, including attorney fees related to or arising from the installation, use, maintenance, repair or removal of the solar panel system.



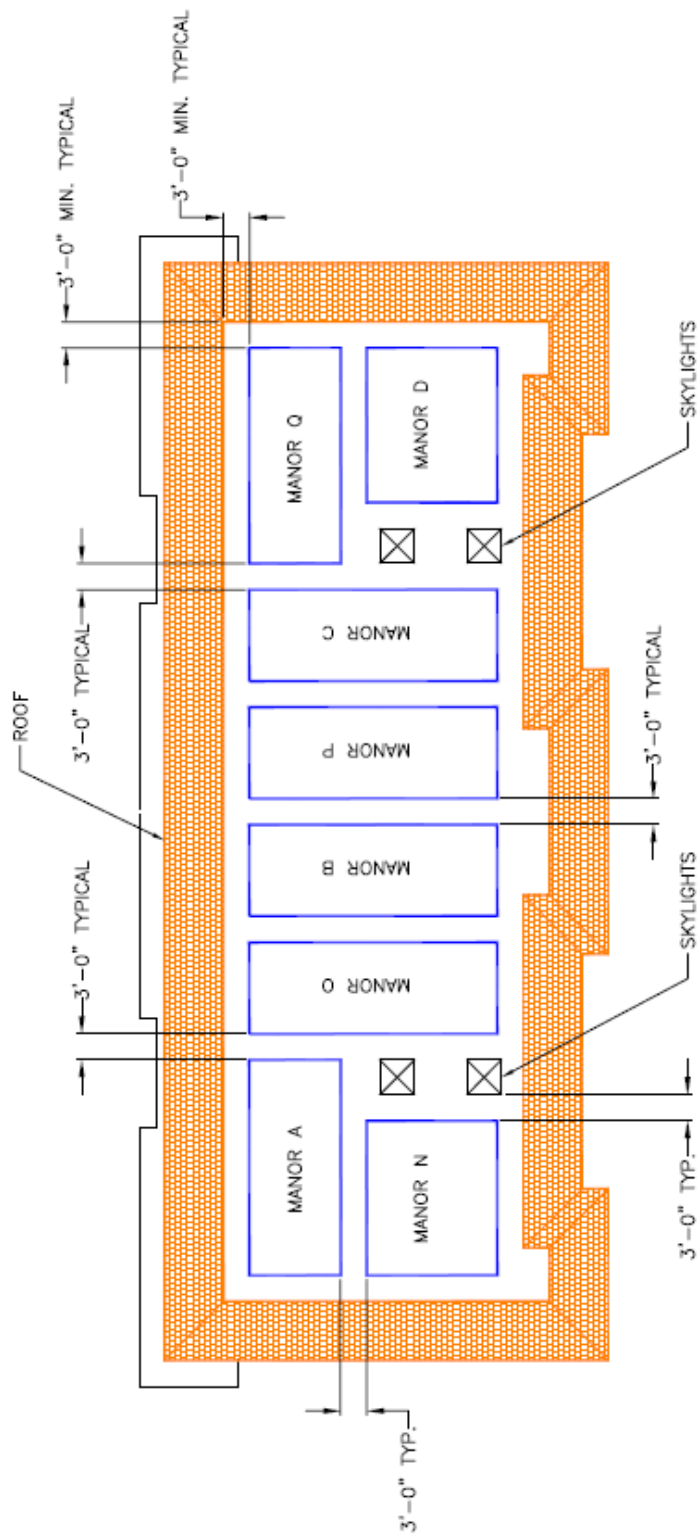
SOLAR PANEL ROOF DIVISIONS  
CASA CONTENTA (KK08)  
8 UNIT BUILDING



SOLAR PANEL ROOF DIVISIONS  
 CASA LINDA / CASA VISTA (II-06)  
 6 UNIT BUILDING

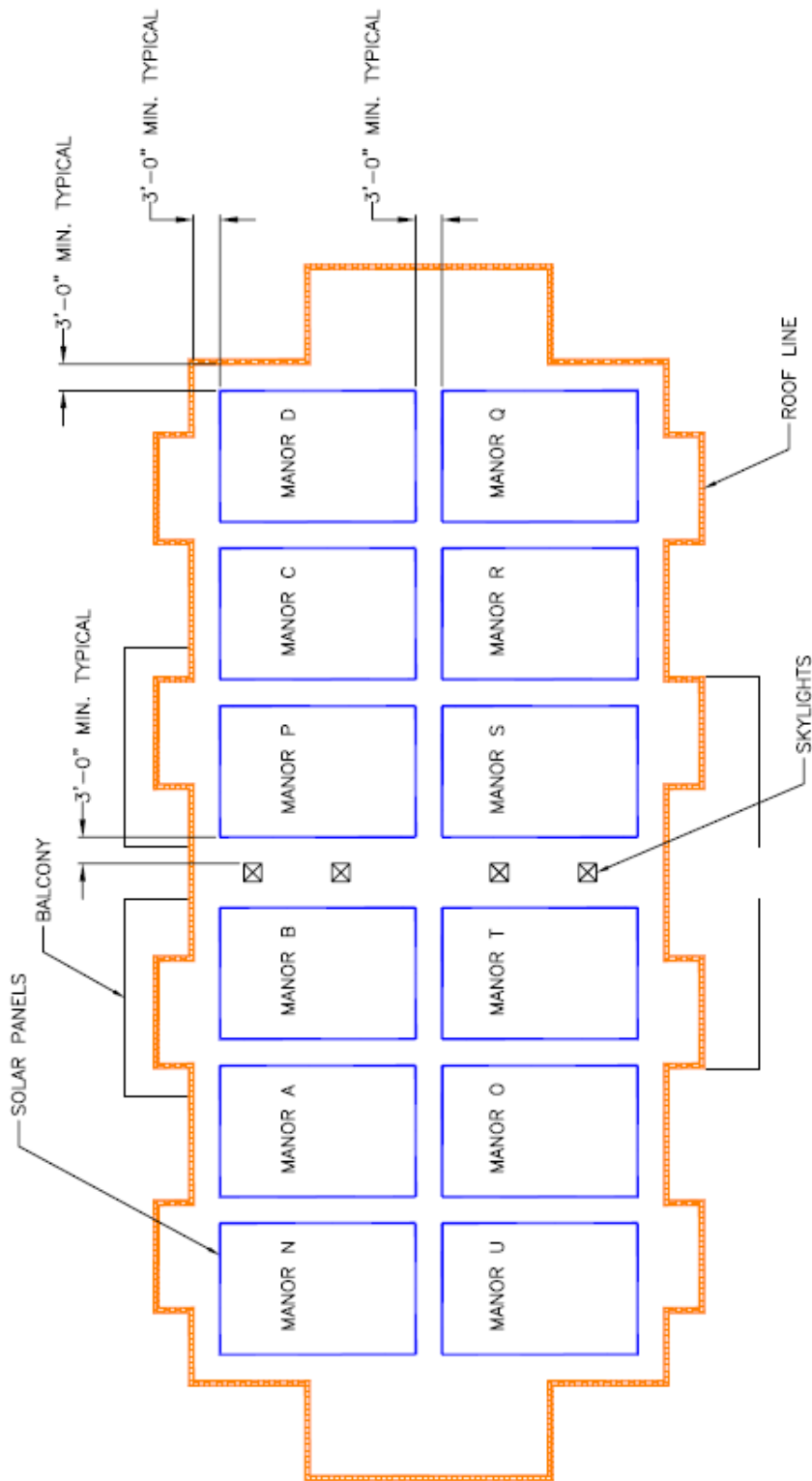


SOLAR PANEL ROOF DIVISIONS - THIRD  
 CASA MILANO/CATALINA/LA QUINTA/VILLA LUGANO  
 (LHX06) (LH06)  
 6 UNIT BUILDING



SOLAR PANEL ROOF DIVISIONS  
 CASTILLA / LA BRISA (HH08)  
 8 UNIT BUILDING





SOLAR PANEL ROOF DIVISIONS  
MONTEREY/CORONADO (PQ-12)  
12 UNIT BUILDING





## ~~THIRD LAGUNA HILLS MUTUAL~~

### ~~SECTION STANDARD 16: GARAGE DOORS, SECTIONAL OR ONE PIECE~~

JANUARY 1993

REVISED AUGUST 2002, RESOLUTION M3-02-39

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

REVISED DECEMBER 2014, RESOLUTION 03-14-141

REVISED SEPTEMBER 2015, RESOLUTION 03-15-127

REVISED MAY 2018, RESOLUTION 03-18-XX

#### 1.0 GENERAL REQUIREMENTS

#### SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

#### 1.0 GENERAL REQUIREMENTS

1.1 PERMITS AND FEES: A Mutual Consent for Manor Alteration(s) is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual Consents and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Manor Alterations Department with City permit number(s) prior to beginning work.

1.2 MEMBERS' RESPONSIBILITY: The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.

1.3 CODES AND REGULATIONS: All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).

1.4 WORK HOURS: No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on

~~Saturday shall be permitted from 9:00a.m.—2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted hours are 7:00a.m.—6:00p.m. No work whatsoever shall be permitted on Sunday.~~

~~1.5 **PLANS:** The Member applying for a permit shall provide to the Manor Alterations Department a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.~~

~~1.6 **DUMPSITES:** The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "BROOM CLEAN" daily. **USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED.** Contractor's or Member's dumpsters, if required, must have location approved by the Manor Alterations Department.~~

~~1.7 **CONTRACTOR:** Installation must be performed by a California licensed contractor of the appropriate trade.~~

~~1.8 **CONTRACTOR'S CONDUCT:** Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

## 2.0 **APPLICATIONS**

2.1 No garage door will be installed that requires modification to the building structure.

2.2 Garage doors shall utilize existing door frames with only minor modifications to facilitate fit and clearances.

2.3 ~~With the exception provided in paragraph 2.4, a~~All garage doors in multi-unit buildings shall be selected and/or painted to maintain an appearance



that conforms to the approved paint color criteria as dictated by the Mutual's Policy on Exterior Paint Colors and Procedures. ~~The style and color of all doors installed shall be selected to match other garage doors in the same building.~~

~~2.4 Alteration metal garage doors with a white/off-white factory finish are exempt from being painted during the Exterior Paint Program when white/off-white is part of the approved color scheme for that particular building.~~

**2.5** All garage doors shall be of aluminum, wood or steel construction. One-piece or sectional panel style is optional. Sectional style shall be limited to five panels maximum.

**2.6** Built-in self closing mail slots are permissible.

**2.7** Built-in windows in the top panel or second from the top panel of a sectional panel style garage door are permissible.

**2.8** All design or patterns including window shape and size must be in keeping with the architecture of the building. Approval by the Permits and Inspections office will be deemed in keeping with the existing architecture of the building.

**2.9** No built-in type access or pet doors will be permitted.





## STAFF REPORT

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**DATE:** April 23, 2018  
**FOR:** Architectural Standards and Controls Committee  
**SUBJECT:** Revisions to Alteration Standard 12 – Exterior Wall Attachments

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### **RECOMMENDATION**

Approve a resolution to revise Alteration Standard Section 12 – Exterior Wall Attachments

### **BACKGROUND**

The Architectural Controls and Standards Committee (ACSC) requested Staff to review and revise the current Alteration Standards for applicability, usefulness, and current technology.

There are currently 40 Alteration Standards available for Members to use to perform alterations to their Manor. Many have not been reviewed or updated for years to reflect changes in technology, materials, and construction methods.

Alteration Standard Section 12 – Exterior Wall Attachments was last revised in April, 1996, via Resolution M3-96-28.

### **DISCUSSION**

The ACSC has reviewed the existing Alteration Standard Section 12 – Exterior Wall Attachments and determined that the Standard needs to be revised to reflect the current Building Codes, Municipal Codes, or Mutual policies. The proposed revisions to the Standard are as follows:

- §2.5 Any exterior wall attachment will be limited to only those walls which face ~~limited~~ Exclusive Use Common Areas, such as patios or atriums.
- §3.1 Tile ~~pavers and veneer~~ used on a vertical surface exterior wall must be attached with thin set/epoxy mortar mixes.
- §3.2 Tile ~~and veneer~~ used ~~as a brick veneer~~ will be limited to use on stucco covered exterior chimneys and entryway columns.
- §3.3 Tile must match in color, design, and size as close as possible any existing brickwork on building ~~existing~~.

After review of the Standard, the ACSC determined that the following section should be added to the Standard:

§4.5 All trellis and wrought iron shall be mounted vertically.

### **FINANCIAL ANALYSIS**

None

**Prepared By:** Kurt Wiemann, Permits, Inspections and Restoration Manager

**Reviewed By:** Eve Morton, Alterations Coordinator

**ATTACHMENT(S)**

**Attachment 1: Resolution 03-18-XXX Revise Alteration Standard Section 12**

**Attachment 2: Red Lines of Alteration Standard Section 12 – Exterior Wall Attachments**





## **Attachment 1**

### **RESOLUTION 03-18-XX**

#### **Revise Alteration Standard Section 12 – Exterior Wall Attachments**

**WHEREAS**, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary; and,

**WHEREAS**, the Architectural Controls and Standards Committee recognizes the need to revise Alteration Standard Section 12 – Exterior Wall Attachments.

**NOW THEREFORE BE IT RESOLVED**, May 15, 2018, that the Board of Directors of this Corporation hereby introduces the following Alteration Standard Section 12 – Exterior Wall Attachments;

#### **1.0 GENERAL REQUIREMENTS**

**See Standard Section 1: General Requirements**

#### **2.0 APPLICATIONS**

- 2.1** No attachments may cover any electrical outlets or junction boxes.
- 2.2** No attachments may cover over plumbing access covers, cleanouts, or shutoffs.
- 2.3** No attachments may cover any vents, openings, or related items that will violate building code or hinder access in any way.
- 2.4** All attachments must be permanent in nature and not subject to extreme weathering or deterioration.
- 2.5** Any exterior wall attachment will be limited to only those walls which face Exclusive Use Common Areas, such as patios or atriums.

#### **3.0 TILE AND VENEER**

- 3.1** Tile and veneer used on a vertical surface exterior wall must be attached with thin set/epoxy mortar mixes.
- 3.2** Tile and veneer used will be limited to use on stucco covered exterior chimneys and entryway columns.
- 3.3** Tile must match in color, design, and size as close as possible any existing brickwork on building.

#### **4.0 TRELLIS AND WROUGHT IRON DESIGNS**

- 4.1** Any trellis attached to a wall must be painted the same color as the wall.
- 4.2** Trellis and wrought iron shall be within 12" of walls and not used as screens, shades, or shields, nor higher than wall to which it is attached.

- 4.3 Wrought iron shall be easily removable for access to the wall for painting purposes.
- 4.4 All lags or screws into walls must be sealed prior to installation to prevent water penetration.
- 4.5 All trellis and wrought iron shall be mounted vertically.

## **5.0 MURALS AND WALL HANGINGS**

- 5.1 Any installation of murals or wall hangings shall be limited to patio and atrium locations. No installation will protrude above the height of a patio wall.
- 5.2 Visual access through a wrought iron gate will be considered to be within the above statement and not a factor.

**RESOLVED FURTHER**, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution as written.

Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 30-days from the postponement to comply with Civil Code §4360.



## ~~THIRD LAGUNA HILLS MUTUAL~~

### **SECTION 12 EXTERIOR WALL ATTACHMENTS**

**MARCH 1983**

**REVISED APRIL 1996, RESOLUTION M3-96-28**

**GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49**

**REVISED MAY 2018, RESOLUTION 03-18-XX**

#### **1.0 GENERAL REQUIREMENTS**

**SEE STANDARD SECTION 1: GENERAL REQUIREMENTS**

#### **1.0 GENERAL REQUIREMENTS**

- 1.1 PERMITS AND FEES:** A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Manor Alterations Department with City permit number(s) prior to beginning work.
- 1.2 MEMBERS' RESPONSIBILITY:** The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.
- 1.3 CODES AND REGULATIONS:** All work shall comply with all applicable local, state, and federal requirements.
- 1.4 WORK HOURS:** No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m. — 2:00p.m. for work which results in construction related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted hours are 7:00a.m. — 6:00p.m. No work whatsoever shall be permitted on Sunday.
- 1.5 PLANS:** The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.



- ~~1.6 **DUMPSITES:** The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "BROOM CLEAN" daily. **USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED.** Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.~~
- ~~1.7 **CONTRACTOR:** Installation must be performed by a California licensed contractor of the appropriate trade.~~
- ~~1.8 **CONTRACTOR'S CONDUCT:** Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

## 2.0 **APPLICATIONS**

- 2.1 No attachments may cover any electrical outlets or junction boxes.
- 2.2 No attachments may cover over plumbing access covers, cleanouts, or shutoffs.
- 2.3 No attachments may cover any vents, openings, or related items that will violate building code or hinder access in any way.
- 2.4 All attachments must be permanent in nature and not subject to extreme weathering or deterioration.
- 2.5 Any exterior wall attachment will be limited to only those walls which face ~~limited~~ Exclusive Use Common Areas, such as patios or atriums.

## 3.0 **TILE AND VENEER PAVERS**

- 3.1 Tile ~~pavers and veneer~~ used on a vertical surface exterior wall must be attached with thin set/epoxy mortar mixes.
- 3.2 Tile ~~and veneer used as a brick veneer~~ will be limited to use on stucco covered exterior chimneys and entryway columns.
- 3.3 Tile must match in color, design, and size as close as possible any existing brickwork on building ~~existing~~.





#### **4.0 TRELLIS AND WROUGHT IRON DESIGNS**

- 4.1 Any trellis attached to a wall must be painted the same color as the wall.
- 4.2 Trellis and wrought iron shall be within 12" of walls and not used as screens, shades, or shields, nor higher than wall to which it is attached ~~to~~.
- 4.3 Wrought iron shall be easily removable for access to the wall for painting purposes.
- 4.4 All lags or screws into walls must be sealed prior to installation to prevent water penetration.
- 4.5 All trellis and wrought iron shall be mounted vertically.

#### **5.0 MURALS AND WALL HANGINGS**

- 5.1 Any installation of murals or wall hangings shall be limited to patio and atrium locations. No installation will protrude above the height of a patio wall.
- 5.2 Visual access through a wrought iron gate will be considered to be within the above statement and not a factor.





## ~~THIRD LAGUNA HILLS MUTUAL~~

### SECTION STANDARD 26 SKYLIGHT INSTALLATIONS

AUGUST 1992

REVISED MAY 2003, RESOLUTION 03-03-43

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

REVISED MAY 2018, RESOLUTION 03-18-XXX

#### 1.0 GENERAL REQUIREMENTS

##### SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

- ~~1.1 — PERMITS AND FEES: A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Permits and Inspections office with City permit number(s) prior to beginning work.~~
- ~~1.2 — MEMBERS' RESPONSIBILITY: The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.~~
- ~~1.3 — CODES AND REGULATIONS: All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).~~
- ~~1.4 — WORK HOURS: No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m. — 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted hours are 7:00a.m. — 6:00p.m. No work whatsoever shall be permitted on Sunday.~~

- ~~1.5 — PLANS: The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.~~
- ~~1.6 — DUMPSITES: The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "BROOM CLEAN" daily. USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED. Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.~~
- ~~1.7 — CONTRACTOR: Installation must be performed by a California licensed contractor of the appropriate trade.~~
- ~~1.8 — CONTRACTOR'S CONDUCT: Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

## **2.0 APPLICATIONS**

- 2.1** Skylights may be of openable or fixed type.
- 2.2** Interior finish, such as open well or luminous panel ceiling, is optional. Size of opening at ceiling line is optional unless specifically called out on Standard Plan drawing to be of a special size, to comply with light and ventilation requirement.
- 2.3** Skylight(s) installed in any roof, under warranty with the Mutual's reroofing contractor, shall be sealed using the same specifications in force at that time.
- 2.4** Roofing must be in strict conformance with the I.U.B.C., Third Mutual Standards, and standard drawings.
- 2.5** Electrical fixtures may be placed inside skylight wells providing they meet the latest edition of the N.E.C.
- 2.6** Skylights shall be in keeping with the architecture of the building and be either off-white or smoke tinted in color. Approval by the P.C.M. Permits and Inspections Alterations division office will be deemed in



keeping with the existing architecture. All skylights shall match other existing skylights. Clear skylights are not acceptable on any roof.

- 2.7** One skylight shall be permitted per 10 linear feet of a patio cover's longest dimension, and all skylight placement and spacing shall be approved by the Permits and Inspections office.
- 2.8** Maximum skylight size shall not exceed Uniform-International Building Code and Title 24 requirements. All questionable skylights to be reviewed by the Mutual's Board of Directors.
- 2.9** Skylights shall be curb mounted and installed per Standard Plans and/or drawings in detail, size and location. Skylights will meet or exceed all current Uniform-International Building Code (IU.B.C.), State and/or City Standards.
- 2.10** Skylights shall be mounted on minimum 2"x6" curbs. Mounting shall be with Galvanized or equal hex-head screws to aid in removal during reroofing.
- 2.11** No skylight shall be installed within 12" of any vent, ridge, or vertical structure.
- 2.12** Skylights installed in existing acoustical sprayed ceilings may encounter asbestos. The resident(s) and contractor(s) must meet or exceed requirements of Federal, State or local government regarding asbestos removal procedures.
- 2.13** All skylights shall be of ICBO approved double lens construction.
- 2.14** Square-Flex™ or equivalent skylight tubes are permitted, provided that the installation meets all of the aforementioned standards.





## **THIRD LAGUNA HILLS MUTUAL**

### **SECTION STANDARD 27: TUBULAR SKYLIGHT INSTALLATIONS**

**SEPTEMBER 1995**

**REVISED MAY 2003, RESOLUTION 03-03-44**

**REVISED MAY 2007, RESOLUTION 03-07-46**

**GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49**

**REVISED MAY 2018, RESOLUTION 03-18-XXX**

#### **1.0 GENERAL REQUIREMENTS**

##### **SEE STANDARD SECTION 1: GENERAL REQUIREMENTS**

- 1.1 PERMITS AND FEES:** A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Permits and Inspections office with City permit number(s) prior to beginning work.
- 1.2 MEMBERS' RESPONSIBILITY:** The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.
- 1.3 CODES AND REGULATIONS:** All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).
- 1.4 WORK HOURS:** No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m. — 2:00p.m. for work which

~~results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted hours are 7:00a.m. — 6:00p.m. No work whatsoever shall be permitted on Sunday.~~

~~1.5 — **PLANS:** The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.~~

~~1.6 — **DUMPSITES:** The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "**BROOM CLEAN**" daily. **USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED.** Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.~~

~~1.7 — **CONTRACTOR:** Installation must be performed by a California licensed contractor of the appropriate trade.~~

~~1.8 — **CONTRACTOR'S CONDUCT:** Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

## ~~2.0 — **DEFINITION**~~

~~2.1 — "Tubular skylight" refers to skylights with a cylindrical roof-mounted light collector typically consisting of an acrylic lens set in a metal frame. A reflective sun-scoop in the rooftop assembly directs sunlight into a metal or plastic tube with a highly reflective interior coating. The reflective tube guides sunlight to a diffuser lens mounted on the interior ceiling surface that spreads light throughout the room.~~

~~2.2 — Tubular skylights are sold under several different brand names. For the purpose of definition, some of the more common brand names include: Solatube, Daylight, Solar Bright, Sun-Dome, Sun-Tek, True Light, etc.~~

## ~~3.0 — **APPLICATIONS**~~

~~3.1 — All roofing work shall be in strict conformance with current building codes and any applicable Mutual standard drawings.~~



- ~~3.2 — **Notification:** Member must notify the Permits and Inspections office of any broken/damaged roofing materials, before any installation begins. Additional roofing materials may be required for typical installations, due to breakage/damage. Member is responsible for restoring the roof to its original pre-installation condition, regardless of the amount of replacement required. All materials will match the existing manufacturer and color or approved equal by the Permits and Inspections office.~~
- ~~3.3 — **Final Inspection:** During the final inspection, should the Permits and Inspections office notice damaged/broken roofing materials that appear to be caused by the installer/installation and absent prior notice of damage, the Member will be responsible for the proper repair(s).~~
- ~~3.4 — **ASBESTOS:** Installations in existing acoustical sprayed ceilings may encounter asbestos. The Member(s) must assure that the requirements of federal, state and local government regarding asbestos removal procedures are met or exceeded.~~
- ~~3.5 — No units shall be installed with the edge of the tubular skylight flashing within 12" of any vent, ridge or vertical structure.~~
- ~~3.6 — Hypolon skirts will not be permitted as acceptable flashings.~~
- ~~3.7 — All tubular skylight flashings are required to be minimum 8" in height.~~
- ~~3.8 — All tubular skylight installations require a 2" Turret Extension to conform to Mutual Standards height requirements.~~
- ~~3.9 — All tubular skylight flashings and related parts to be painted either Flat Black (BUR Roofs); Flat Black or Orange (Tile and Metal Shingle Roofs); Flat Black or Tan (Comp/Shingle Roofs) or to match color scheme of roof.~~
- ~~3.10 — Products: Henry Asphalt Primer (#103 or #105), Henry Cold-Ap Cement (#403), Henry Underlayment (#604), Henry Interply Adhesive (#902). Henry products may be substituted by an equal or better product. All substituted products require approval from the Permits and Inspections office.~~

#### **4.0 INSTALLATION SPECIFICATIONS**

#### 4.1 FLAT ROOFS (Built Up Roofing)

- a. 10", 14" and 16" tubular skylights are the only size units approved for installation on BUR roofs.
- b. Spud back the perimeter around the flashing edge a minimum of 10" and maximum 14", leaving roof surface smooth and gravel-free for primer and base felt application.
- c. Apply Henry Asphalt Primer to flashing and scraped/spudded roof surface and let dry.
- d. Apply Henry Cold-Ap Cement # 403 to base of flashing per manufacturer's specifications and press in place. Nail aluminum base through raised surface of outer ring, 10 inches on center.

*(First Ply/Base Ply)*

- e. Apply Henry Cold-Ap Cement # 403 at the rate of 2 gallons per 100 sq. ft. and cover with Henry Fiberglass ply sheet 25lb #604 starting at vertical surface across the flashing and over roof surface to a point three (3) inches beyond the edge of the flashing.

*(Second and Third Ply)*

- f. Apply Henry Interply Adhesive #902 and a second ply of Henry Fiberglass Ply Sheet #604 two (2) inches beyond the perimeter of the base ply and continue across roof, terminating at vertical surface, allowing the Henry Interply Adhesive #902 to ooze out slightly onto the vertical surface and above the ply. Apply a third ply of Henry Fiberglass Ply Sheet #604 two (2) inches beyond the perimeter of second ply and continue across roof, terminating at vertical surface and again allow the Henry Fiberglass Ply Sheet #604 to ooze out slightly onto the vertical surface and above the ply. Both plies to be embedded in Henry Cold-Ap Cement # 403 at the rate of 2 gallons per 100 sq. ft.
- g. Apply one layer of \*MB Cap embedded in Henry Cold-Ap Cement # 403 at the rate of 2 gallons per 100 sq. ft. starting at the bottom of the vertical surface across the newly installed plies, to a point seven (7) inches away from the flashing edge and embed #11 Granule Aggregate or cap sheet (if flat or built up roof (BUR) is cap sheet).

- h. If cap sheet is used, nail perimeter of cap sheet 4 inches on center. Apply a 3 coarse application over cap sheet edge using Henry Cold-Ap Cement # 403 and webbing.
- i. Reapply gravel evenly to entire area, stopping at the tubular skylight vertical surface.

#### **4.2 3 STORY BUILDINGS**

Installation of tubular skylights on all three-story buildings are to follow Mutual Standards for Built-Up Roofing with the following changes:

- a. Install a (1) one-layer 5/8" type X drywall chase around the reflective tube. Drywall chase to be inclusive of attic area and to start from drywall ceiling and terminate at plywood roof sheathing. Each end and all incisions into the drywall chase to be filled with drywall compound.
- ~~b. An "In-Progress" inspection by the Permits and Inspections office is required for all tubular skylights installed in 3 Story buildings.~~

#### **4.3 PITCHED ROOFS:** All pitched roof (over 3:12) installations shall be as follows:

##### **4.3.1 Asphalt Composition Shingles**

10" and 14" tubular skylights are the only size units approved for installation on pitched Composition Shingle roofs in Third Mutual.

- a. Pitched Metal Flashing: The powder coated black epoxy based finish applied over a 0.032 in. thick aluminized steel stamped seamless flashing with 32 total added rigid ribs and 8 pre-punched fastener holes shall be laced into existing Asphalt Composition Shingles as existing roof jacks are installed.
- b. Metal Turret Extension: Shall be installed onto Pitched Metal Flashings with a polyurethane sealant and screwed into flashing with (4) #8x1/2 philip head, self-tapping stainless steel screws.
- c. Turret Shroud: Shall be installed onto Pitched Metal Flashing and Turret Extension.
- d. No caulking will be used as primary water leak protection.

#### **4.3.2 Concrete & Clay Tile**

10" and 14" tubular skylights are the only size units approved for installation on all tile roofs in Third Mutual.

- a. Counterbase Flashing: injected molded polypropylene CC2 classified, 30% mica filled .125 inch thick mold tech pattern MT11365 finish base flashing shall be installed between rafters and be laced into existing underlayment as existing roof jacks are installed.
  - 1. Monier concrete tiles over space sheathing and/or plywood with no underlayment do not require the installation of a Counterbase Flashing.
- b. Secondary Flashing: Polypropylene (Tile Retro Kit for 10" Solatubes) or .060 inch thick A93003 aluminum secondary pre-formed flashing shall be installed over Counterbase Flashing.
- c. Polypropylene Turret Extension: shall be installed onto Secondary Flashing with a polyurethane sealant and screwed into flashing with (4) #8x1/2" philip head, self-tapping stainless steel screws.
- d. Turret Shroud: shall be installed onto Secondary Flashing and Turret Extension.
- e. No caulking will be used as primary water leak protection.
- f. All tiles shall be saw cut and not "broken to fit".

#### **4.3.3 Metal Shingles**

10" and 14" tubular skylights are the only size units approved for installation on all tile roofs in Third Mutual. Single flashing permitted only on metal shingle roofs.

- a. Counterbase Flashing: injected molded polypropylene CC2 classified, 30% mica filled .125 inch thick mold tech pattern MT11365 finish base flashing shall be installed between rafters and be laced into existing underlayment as existing roof jacks are installed.
- b. Polypropylene Turret Extension: shall be installed onto Counterbase Flashing with a polyurethane sealant and screwed

into flashing with (4) #8x1/2" philip head, self-tapping stainless steel screws.

- c.** Turret Shroud: shall be installed onto Flashing and Turret Extension.
- d.** All tiles shall be saw-cut or sheared and not "broken or bent" to fit.